

MIXED USE DEVELOPMENT AT NO. 7-19 ALBANY STREET, ST LEONARDS

JOB NO. 1306

ARCHITECTURAL DRAWINGS :

A.001 COVER SHEET & UNIT SCHEDULE	A.150 ELEVATION NORTH (Albany St)	A.700 SHADOW DIAGRAM - MARCH Equinox
A.002 SITE SURVEY PLAN	A.151 ELEVATION WEST	A.701 SHADOW DIAGRAM - SEPTEMBER Equinox
A.003 SITE ANALYSIS PLAN	A.152 ELEVATION SOUTH (Pole Lane)	A.702 SHADOW DIAGRAM - JUNE Mid-Winter
A.004 SITE ANALYSIS ELEVATIONS	A.153 ELEVATION EAST (Oxley St)	A.703 SHADOW DIAGRAM - JUNE Mid-Winter
A.005 EROSION & SEDIMENT CONTROL PLAN		A.704 SHADOW DIAGRAM - JUNE Mid-Winter
A.006 SITE PHOTOS	A.160 SECTION A	A.704a SHADOW DIAGRAM - JUNE Mid-Winter
A.007 DEMOLITION PLAN	A.161 SECTION B	A.705 SHADOW ELEVATIONAL - Mid Winter
	A.162 SECTION C (Entry Ramp)	A.706 SHADOW ELEVATIONAL - Mid Winter
		A.707 SHADOW ELEVATIONAL - Equinox
A.100 BASEMENT 2 PLAN		
A.101 BASEMENT 1 PLAN	A.400 ADAPTABLE UNITS	
A.102 GROUND FLOOR PLAN	A.401 ADAPTABLE UNITS	
A.103 LEVEL 1 FLOOR PLAN		
A.104 LEVEL 2, 3, 5 FLOOR PLANS		
A.105 LEVEL 6 FLOOR PLAN		
A.106 LEVEL 7 - 9 FLOOR PLANS		
A.107 LEVEL 10 - 11 FLOOR PLANS		
A.108 LEVEL 13 FLOOR PLAN		
A.109 ROOF PLAN	A.600 GFA & FSR CALCULATIONS	

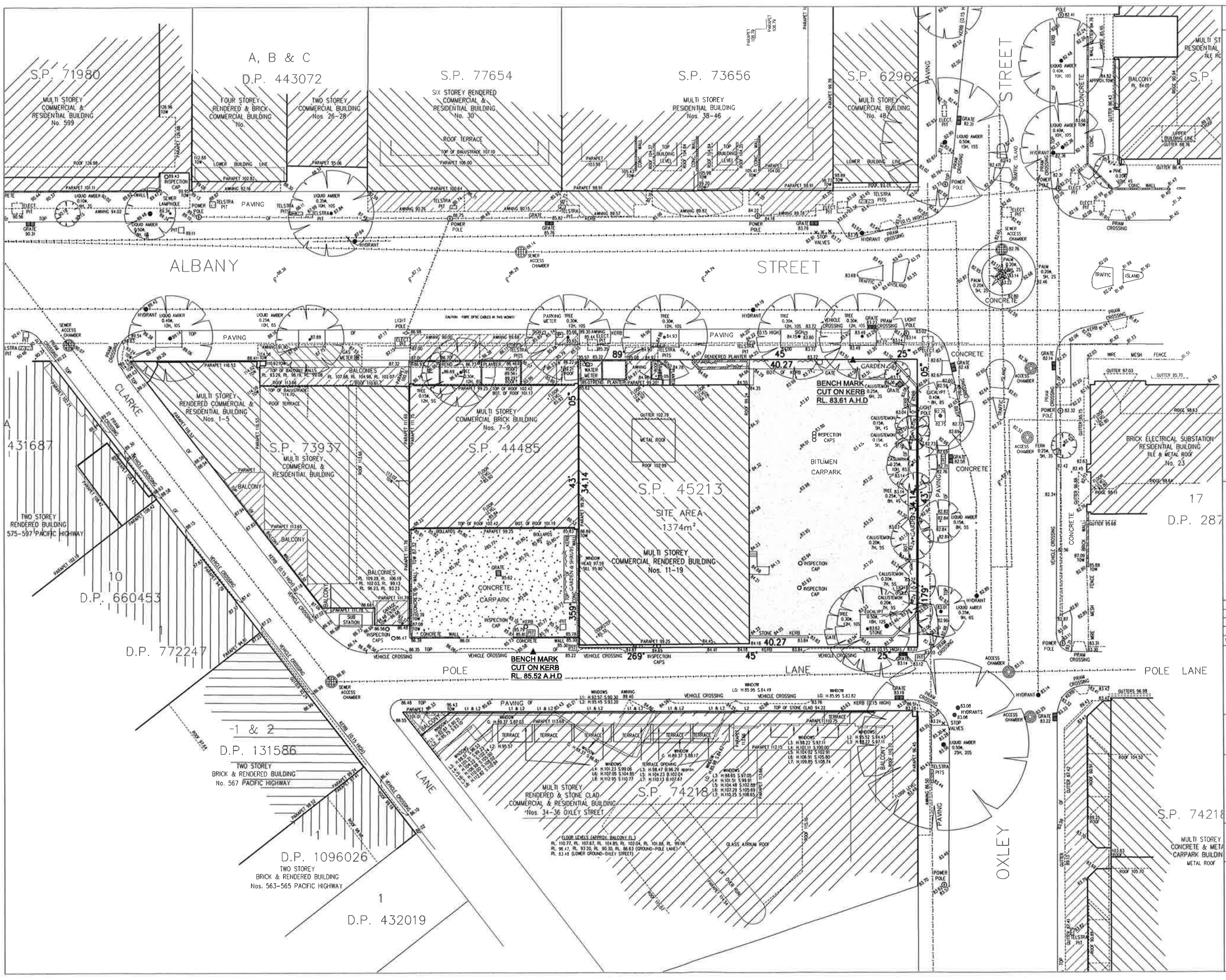
NON-RESIDENTIAL PARKING SCHEDULE						
	GROSS FLOOR AREA	CAR SPACE		MOTORBIKE		BICYCLE PARKING PROVIDED
		DCP 2013 requirement	PROVIDED	DCP 2013 requirement	PROVIDED	
Ground Floor REFRESHMENT	778 m2	15.56 (1Car / 50m2)				
First Floor COMMERCIAL (1 car / 400m2)	1033 m2	2.58 (1Car / 400m2)		1 per 10 Carspace		
TOTAL	1811 m2	18 (including 1-2% for Disabled)	15 (including 2 Disabled)	1.8	2	28

SITE AREA = 2036.5 m2
(as per SURVEY)

RESIDENTIAL PARKING SCHEDULE						
APARTMENT MIX SCHEDULE						
	STUDIO	1 BED	2 BED	3 BED	TOTAL	
NUMBER OF APARTMENTS	19	52	47	7	125	MOTOR CYCLE PARKING 1/10 CARS
CAR SPACE REQUIRED (DCP)	9.5	26	47	7	89.5	BICYCLE RACK 1/UNIT
CAR SPACE PROVIDED	-	33	47	7	87	VISITOR'S BICYCLE RACK 1/10 UNITS
						REQUIRED
						PROVIDED



SCHEDULE OF UNIT AREAS										SITE AREA = 2036.5 m2 (by Survey)									
UNIT	UNIT TYPE						NETT AREA m2	PRIVATE OPEN SPACE		STORAGE			DAYLIGHT DCP 2013 & SEPP 65 req 70%	CROSS VENT. DCP 2013 & SEPP 65 req 80%	ADAPTABLE UNIT DCP 2013 req 10%				
	3rd	1st	1st+	2nd	2nd+	3rd		DCP 2013 req m2	Provided m2	DCP 2013 req m3	Provided in Unit m3	Provided in Basement m3				Total Storage m3			
201							75.0	12.0	8.0	8.0	4.0	4.0	8.0						
202	1						51.0	8.0	9.0	6.0	3.0	3.0	6.0						
203							58.0	8.0	10.0	6.0	3.0	3.0	6.0			1			
205							78.0	12.0	9.0	8.0	4.0	4.0	8.0	1	1				
206							70.0	12.0	8.0	8.0	4.0	4.0	8.0	1	1				
207							102.0	20.0	13.0	10.0	5.0	5.0	10.0	1	1				
208							83.0	12.0	13.0	8.0	4.0	4.0	8.0	1	1				
209							46.0	8.0	8.0	6.0	3.0	3.0	6.0	1	1				
210	1						42.0	8.0	7.0	6.0	3.0	3.0	6.0	1		1			
211	1						42.0	8.0	7.0	6.0	3.0	3.0	6.0	1		1			
212	1						53.0	8.0	9.0	6.0	3.0	3.0	6.0	1	1	1			
213	1						54.0	8.0	8.5	6.0	3.0	3.0	6.0	1	1	1			
215	1						54.0	8.0	8.0	6.0	3.0	3.0	6.0	1	1				
216	1						54.0	8.0	8.0	6.0	3.0	3.0	6.0	1	1				
217	1						55.0	8.0	10.0	6.0	3.0	3.0	6.0	1	1				
218							59.0	8.0	11.0	6.0	3.0	3.0	6.0			1			
219							50.0	8.0	11.0	6.0	3.0	3.0	6.0						
220	1						48.0	8.0	11.0	6.0	3.0	3.0	6.0						
221	1						54.0	8.0	11.0	6.0	3.0	3.0	6.0	1					
301							75.0	12.0	8.0	8.0	4.0	4.0	8.0						
302	1						51.0	8.0	9.0	6.0	3.0	3.0	6.0						
303							58.0	8.0	10.0	6.0	3.0	3.0	6.0			1			
305							78.0	12.0	9.0	8.0	4.0	4.0	8.0	1	1				
306							70.0	12.0	8.0	8.0	4.0	4.0	8.0	1	1				
307							102.0	20.0	13.0	10.0	5.0	5.0	10.0	1	1				
308							83.0	12.0	13.0	8.0	4.0	4.0	8.0	1	1				
309							46.0	8.0	8.0	6.0	3.0	3.0	6.0	1	1				
310	1						42.0	8.0	7.0	6.0	3.0	3.0	6.0	1		1			
311	1						42.0	8.0	7.0	6.0	3.0	3.0	6.0	1		1			
312	1						53.0	8.0	9.0	6.0	3.0	3.0	6.0	1	1	1			
313	1						54.0	8.0	8.5	6.0	3.0	3.0	6.0	1	1	1			
315	1						54.0	8.0	8.0	6.0	3.0	3.0	6.0	1	1				
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318							59.0	8.0	11.0	6.0	3.0	3.0	6.0			1			
319	1						50.0	8.0	11.0	6.0	3.0	3.0	6.0						
320	1						48.0	8.0	11.0	6.0	3.0	3.0	6.0						
501							75.0	12.0	8.0	8.0	4.0	4.0	8.0						
502	1						51.0	8.0	9.0	6.0	3.0	3.0	6.0						
503							58.0	8.0	10.0	6.0	3.0	3.0	6.0			1			
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506							70.0	12.0	8.0	8.0	4.0	4.0	8.0	1	1				
507							102.0	20.0	13.0	10.0	5.0	5.0	10.0	1	1				
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509							46.0	8.0	8.0	6.0	3.0	3.0	6.0	1	1				
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521	1						54.0	8.0	11.0	6.0	3.0	3.0	6.0	1					
601							58.0	8.0	8.0	6.0	3.0	3.0	6.0	1					
602	1						50.0	8.0	8.0	6.0	3.0	3.0	6.0						
603							75.0	12.0	7.5	8.0	4.0	4.0	8.0			1			
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607							84.0	12.0	17.0	8.0	4.0	4.0	8.0	1	1				
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705							70.0	12.0	9.0	8.0	4.0	4.0	8.0	1	1				
706							65.0	8.0	8.0	6.0	3.0	3.0	6.0	1	1				
707							84.0	12.0	17.0	8.0	4.0	4.0	8.0	1	1				
708							78.0	12.0	12.0	8.0	4.0	4.0	8.0	1	1				
709							74.0	12.0	8.0	8.0	4.0	4.0	8.0	1	1				
710							63.0	8.0	7.0	6.0	3.0	3.0	6.0	1	1				
801							62.0	8.0	10.0	6.0	3.0	3.0	6.0	1					
802	1						50.0	8.0	8.0	6.0	3.0	3.0	6.0						
803							75.0	12.0	7.5	8.0	4.0	4.0	8.0			1			
805							70.0	12.0	9.0	8.0	4.0	4.0	8.0	1	1				
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808							78.0	12.0	12.0	8.0	4.0	4.0	8.0	1	1				
809							74.0	12.0	8.0	8.0	4.0	4.0	8.0	1	1				
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901							62.0	8.0	10.0	6.0	3.0	3.0	6.0	1					
902	1						50.0	8.0	8.0	6.0	3.0	3.0	6.0						
903							75.0	12.0	7.5	8.0	4.0	4.0	8.0			1			
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907							84.0	12.0	17.0	8.0	4.0	4.0	8.0	1	1				
908							78.0	12.0	12.0	8.0	4.0	4.0	8.0	1	1				
909							74.0	12.0	8.0	8.0	4.0	4.0	8.0	1	1				
910							63.0	8.0	7.0	6.0	3.0	3.0	6.0	1	1				
1001	1						50.0	8.0	10.0	6.0	3.0	3.0	6.0	1		1			
1002							76.0	12.0	9.0	8.0	4.0	4.0	8.0			1			
1003	1						53.0	8.0	10.0	6.0	3.0	3.0	6.0						
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1007							84.0	12.0	17.0	8.0	4.0	4.0	8.0	1	1				
1008							78.0	12.0	12.0	8.0	4.0	4.0	8.0	1	1				
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1102							76.0	12.0	9.0	8.0	4.0	4.0	8.0			1			
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1107							84.0	12.0	17.0	8.0	4.0	4.0	8.0	1	1				
1108							78.0	12.0	12.0	8.0	4.0	4.0	8.0	1	1				
1109							74.0	12.0	8.0	8.0	4.0	4.0	8.0	1	1				
1110							63.0	8.0	7.0	6.0</									



Not for Construction

NOTES:

- CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
- ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE AT THE LAND TITLES OFFICE.
- ORIGIN OF LEVELS ON AND IS TAKEN FROM S.I.M. 88411 RL 87.804 A.H.D.
- TREE SPREADS ARE DIAGNOSTIC ONLY AND ARE NOT SYMMETRICAL.
- UNDERGROUND (NON VISIBLE) SERVICE LINES HAVE BEEN SHOWN FROM 'TIN' BEFORE YOU 'DIG' SERVICE AUTHORITY RECORDS & ARE TYPICALLY ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.
- SPOT LEVELS ARE ACCURATE.
- REBARINGS SHOWN ARE ON M.G.A.-BAP GRID OF AUSTRALIA.

Bee & Lethbridge
Civil Survey & Engineering Solutions

Plan showing boundaries, relative heights & physical features over S.P. 44485 known as NO. 7-9 ALBANY STREET, ST. LEONARDS.
L.G.A.: NORTH SYDNEY

DATE	SCALE	SHEET NO.	TOTAL SHEETS
10/01/2014	1:200 @ A1	18046	1

Author: J.G. / M.B. S.P. Drawing: 18046-JT2

Issue	Amendment Description	Date
D	Issue for DEVELOPMENT APPLICATION	27.05.14
C	Preliminary Issue	02.08.13
B	Preliminary Issue to Consultants	26.08.13
A	Preliminary Issue	23.08.13

Architect:

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Client:

AUSTINO PROPERTY GROUP

Drawing Title:

SITE SURVEY

Project:

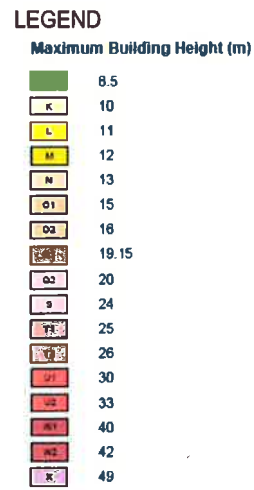
7-19 ALBANY STREET, ST LEONARDS

Scale	Job No.
1:200 @ A1	1306

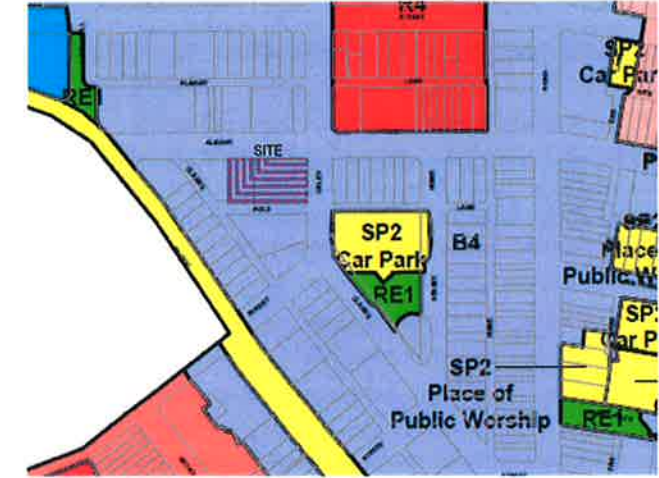
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Drawing No. **A.002** Issue **D**

DATE



NORTH SYDNEY COUNCIL L.E.P. 2013
MAXIMUM BUILDING HEIGHTS



NORTH SYDNEY COUNCIL L.E.P. 2013
ZONING MAP

ACCESS AND CIRCULATION ANALYSIS



01 SITE
1:500



Not for Construction

C	Issue for DEVELOPMENT APPLICATION	27.05.14
B	Preliminary Issue	02.09.13
A	PRELIMINARY ISSUE	26.08.13
Issue	Amendment Description	Date

Architect

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Client

AUSTINO PROPERTY GROUP

Drawing Title

**SITE ANALYSIS
PLAN**

Project

7-19 ALBANY STREET, ST LEONARDS

Scale: 1:500 @ A1 Job No: 1306

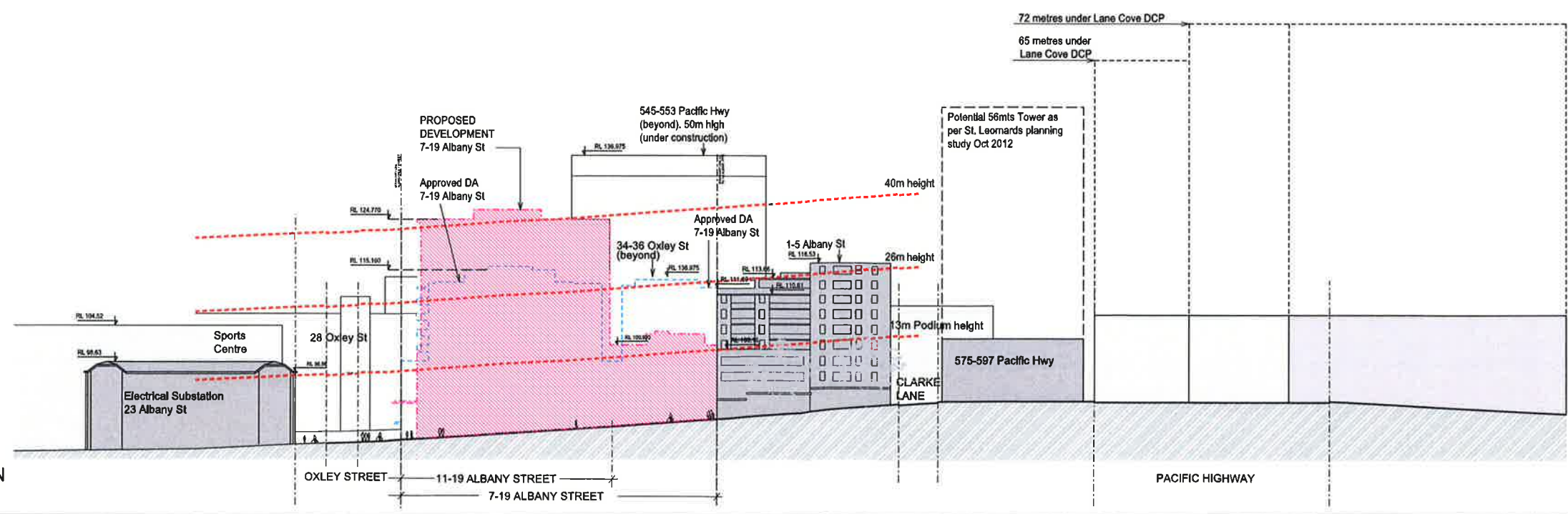
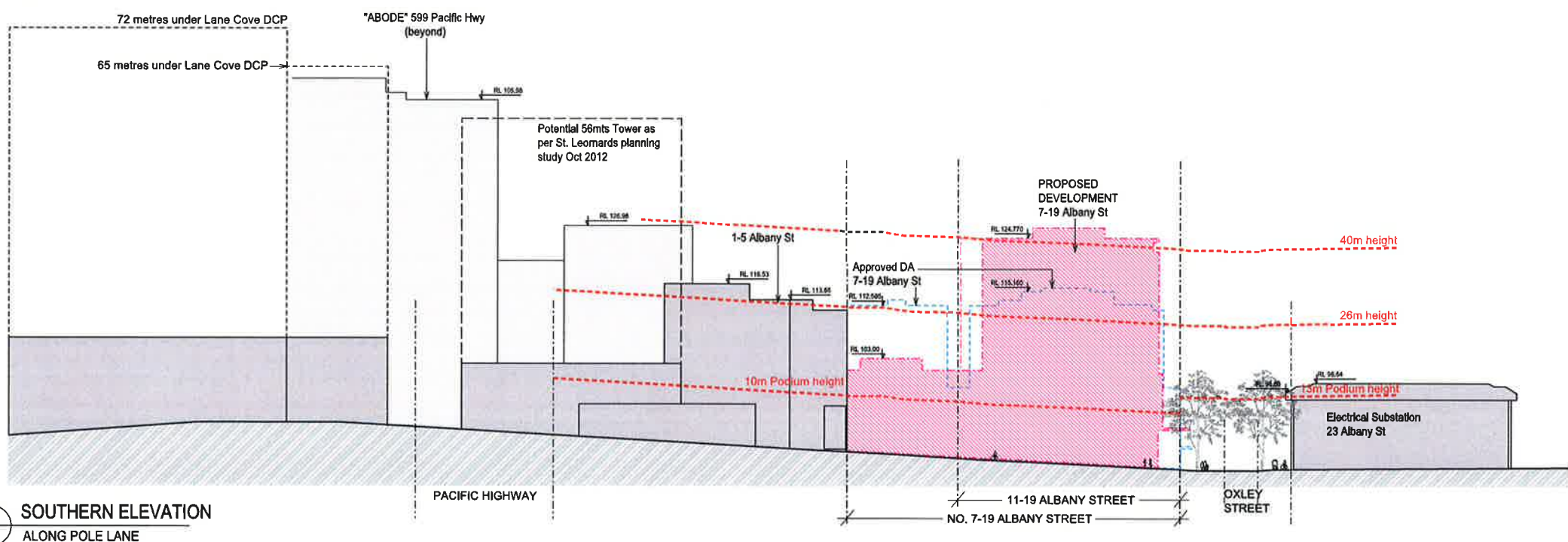
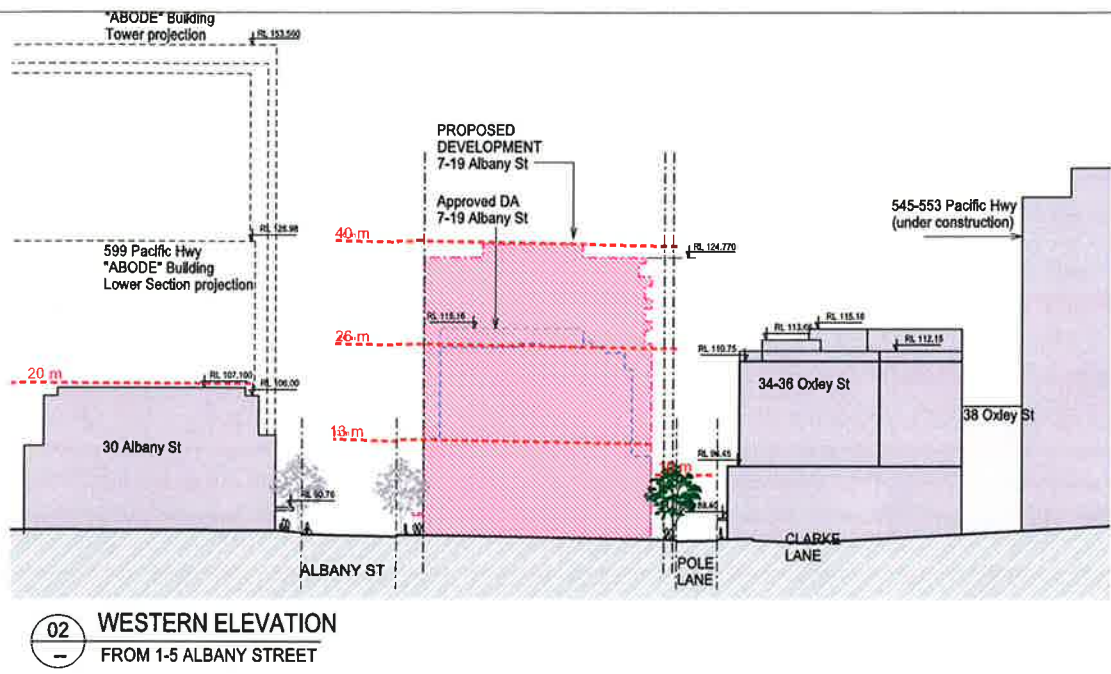
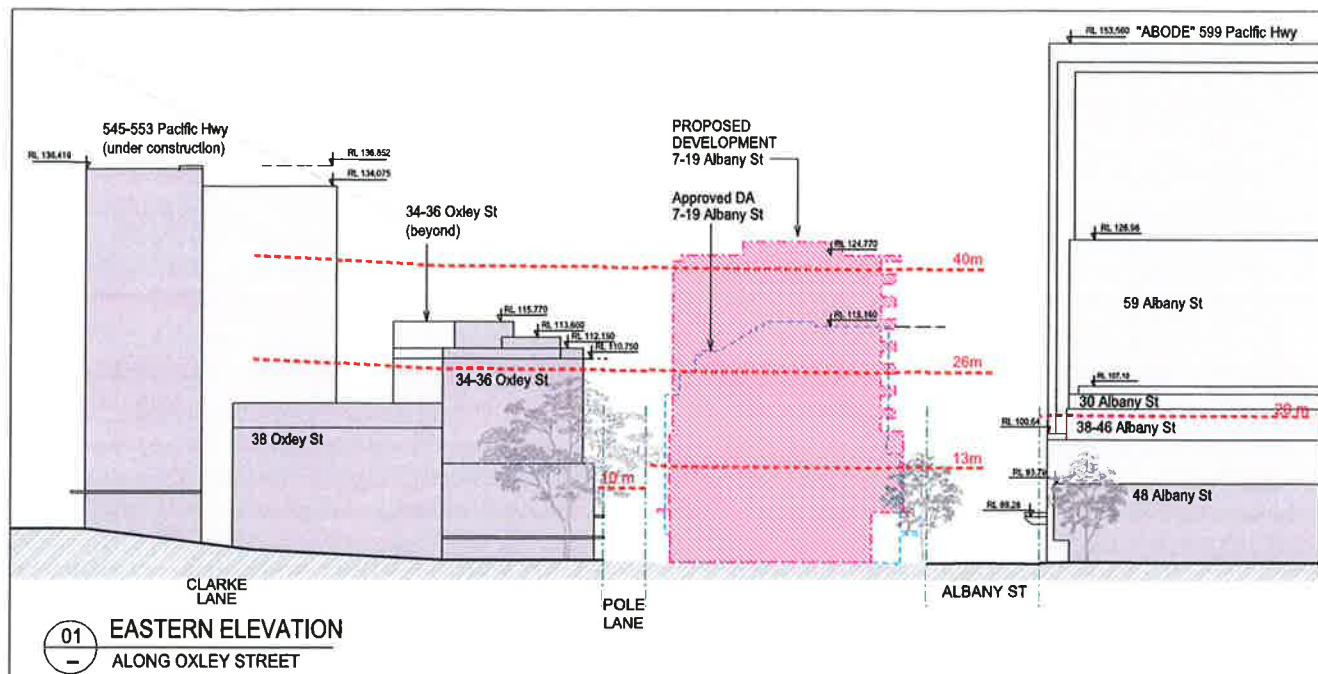
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Drawing No.

A.003

C

DATE



Not for Construction

LEGEND

- 7-19 Albany Street Approved DA
- 7-19 Albany Street PROPOSED DEVELOPMENT

C	Issue for DEVELOPMENT APPLICATION - Proposed Building height amended. - Show profile of recently Approved DA 7-19 Albany St as reference in lieu of older Approved DA 11-19 Albany St.	27.05.14
B	Planning Proposal Submission	26.09.13
A	PRELIMINARY ISSUE	23.06.13
Issue	Amendment Description	Date

Architect

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Client

AUSTINO PROPERTY GROUP

Drawing Title

SITE ANALYSIS ELEVATIONS

Project

7-19 ALBANY STREET, ST LEONARDS

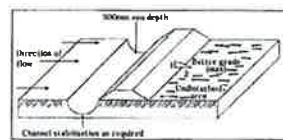
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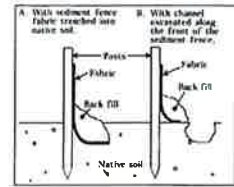
Drawing No. **A.004** Issue **C**

FILE ITMES SATES

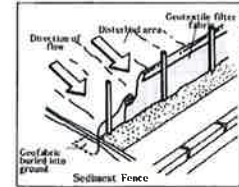
NSC EROSION + SEDIMENT CONTROL SKETCHES



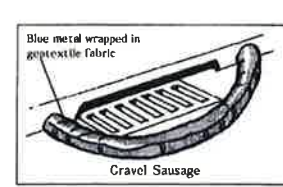
ITEM. 4 DIVERSION OF WATER



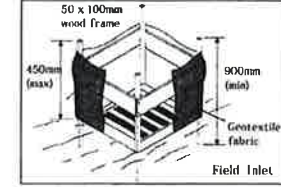
ITEM. 5 SEDIMENT FENCE SECTION



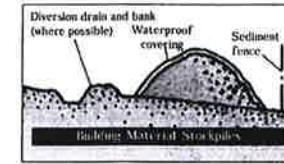
ITEM. 5 SEDIMENT FENCE



ITEM. 6 GUTTER PROTECTION GRAVEL SAUSAGE

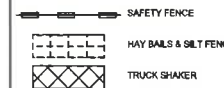


ITEM. 6 GUTTER PROTECTION FIELD INLET



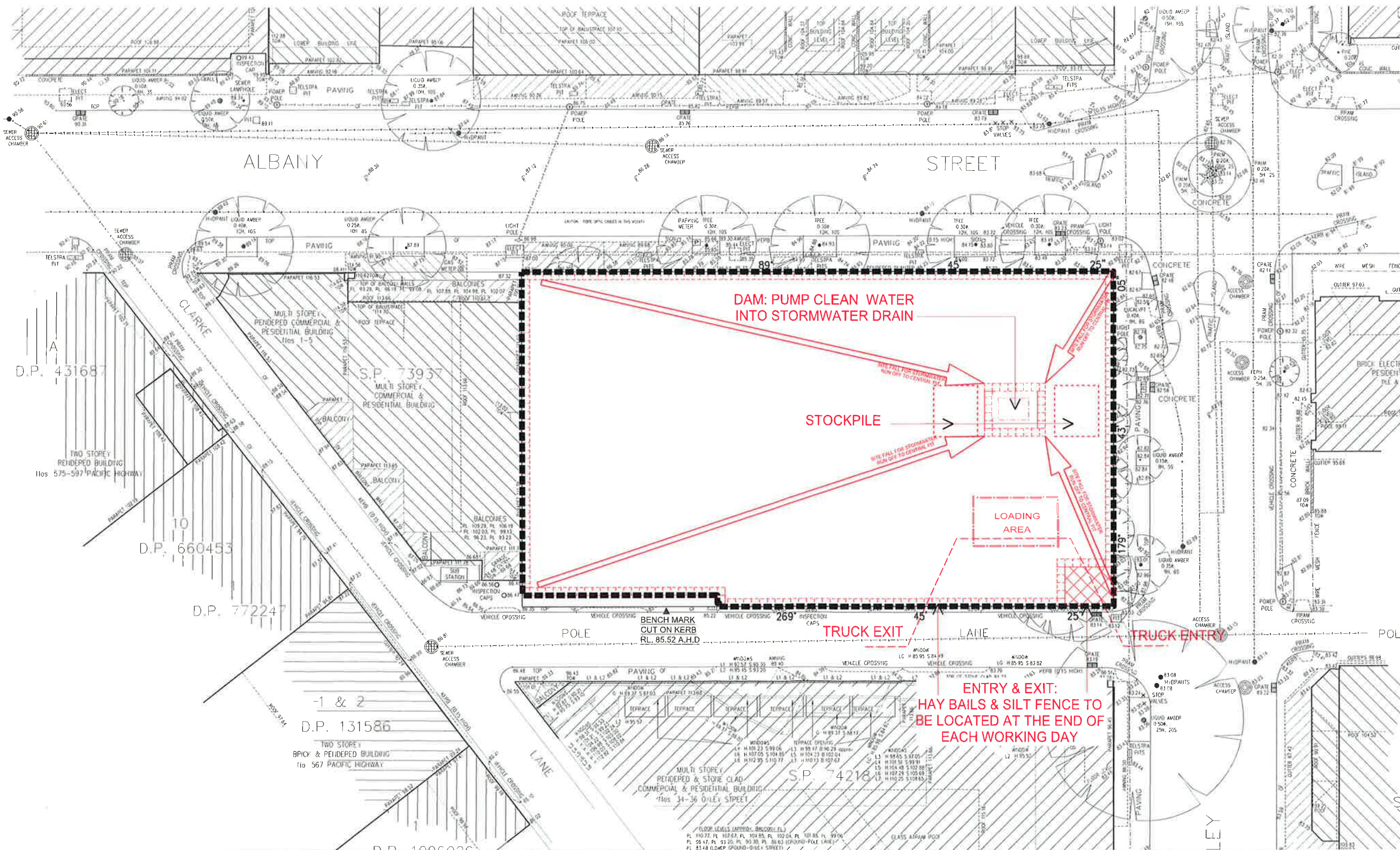
ITEM. 7 STOCKPILES

LEGEND



NOTES

- BEFORE START OF WORKS
 - INSTALL THE EROSION & SEDIMENT CONTROL PLAN PRIOR TO SITE DISTURBANCE.
 - FIX THE WARNING SIGN ISSUED FROM CONSTRUCTION CERTIFICATE APPLICATION TO SAFETY FENCE.
 - AVOID DISTURBANCE UNTIL NECESSARY.
- SITE MANAGEMENT
 - CONTROL ANY FLOW OF WATER BY DIVERTING CLEAN WATER AWAY FROM ANY DISTURBED AREAS OF THE SITE.
 - ENSURE ANY CONTAMINATED / SEDIMENT LOADED WATER IS TREATED / FILTERED PRIOR TO LEAVING THE SITE.
 - MINIMISE DISTURBANCE & REHABILITATE / REVEGETATE AREAS AS SOON AS POSSIBLE.
 - MAINTAIN EROSION & SEDIMENT CONTROL BY CLEANING & REPAIRING AS REQUIRED.
 - STOCKPILE TOPSOIL FOR REUSE WHERE POSSIBLE.
- SEDIMENT / BUILDING MATERIAL
 - REMOVE FROM THE ROAD AS REQUIRED BY SWEEPING, SHOVELING OR SPONGING; NOT WASHING.
- DIVERSION OF WATER
 - DIVERT RUN-OFF AWAY FROM DISTURBED AREAS & STOCKPILES TOWARDS STABILISED AREAS USING BANKS OR CHANNELS.
 - ON STEEP SITES LINE CHANNELS WITH TURF OR GEOTEXTILE FABRIC. RUN-OFF SHOULD BE TREATED (BY A SEDIMENT FENCE ON THE LINE) BEFORE LEAVING THE SITE.
- SEDIMENT FENCE
 - INSTALL ON DOWNSLOPE TO TREAT SITE RUN-OFF.
- GUTTER PROTECTION
 - GRAVEL SAUSAGES, GRAVEL BAGS OR SAND BAGS SHOULD BE INSTALLED AROUND STORMWATER INLETS IF THERE IS A RISK OF UNTREATED RUN-OFF ENTERING WATERWAYS.
- STOCKPILES
 - LOCATE ON UPSLOPE AWAY FROM DRAINAGE LINES.
 - RUN-OFF SHOULD BE DIVERTED AWAY FROM THE STOCKPILE.
 - PROTECT WITH A WATERPROOFING COVERING.
 - INSTALL SEDIMENT CONTROL DEVICE ON THE DOWNSLOPE SIDE OF THE STOCKPILE AS REQUIRED.
 - STOCKPILE MUST NOT BE STORED ON FOOTPATHS.
- ROOF WATER DRAINAGE
 - CONNECT TEMPORARY OR PERMANENT DOWNPIPES TO THE STORMWATER SYSTEM AS SOON AS THE ROOF IS COMPLETE.
- DUST CONTROL
 - ERECT DUST SCREENS AROUND SITE AS REQUIRED.



C	Issue for DEVELOPMENT APPLICATION	27.05.14
B	Preliminary Issue	02.06.13
A	PRELIMINARY ISSUE	23.06.13
Issue	Amendment Description	Date

Architect

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Client

AUSTINO PROPERTY GROUP

Drawing Title

EROSION AND SEDIMENT CONTROL PLAN

Project

7-19 ALBANY STREET, ST LEONARDS

Scale: 1:200 @ A1 Job No: 1306

Checked: MC Drawn: MC, TT

Drawing No. A.005

Issue C





LOCATION MAP



1



2



3



4



5



6



7



8



9



10



11



12



13



14

Not for Construction

C	Issue for DEVELOPMENT APPLICATION	27.05.14
B	Preliminary Issue	02.09.13
A	PRELIMINARY ISSUE	23.06.13
Issue	Amendment Description	Date

Architect

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Client

AUSTINO PROPERTY GROUP

Drawing Title

SITE PHOTOS

Project

7-19 ALBANY STREET, ST LEONARDS

Scale: N/A

Job No: 1308

Checked: MC

Drawn: MC, TT

Drawing No.

A.006

Sheet

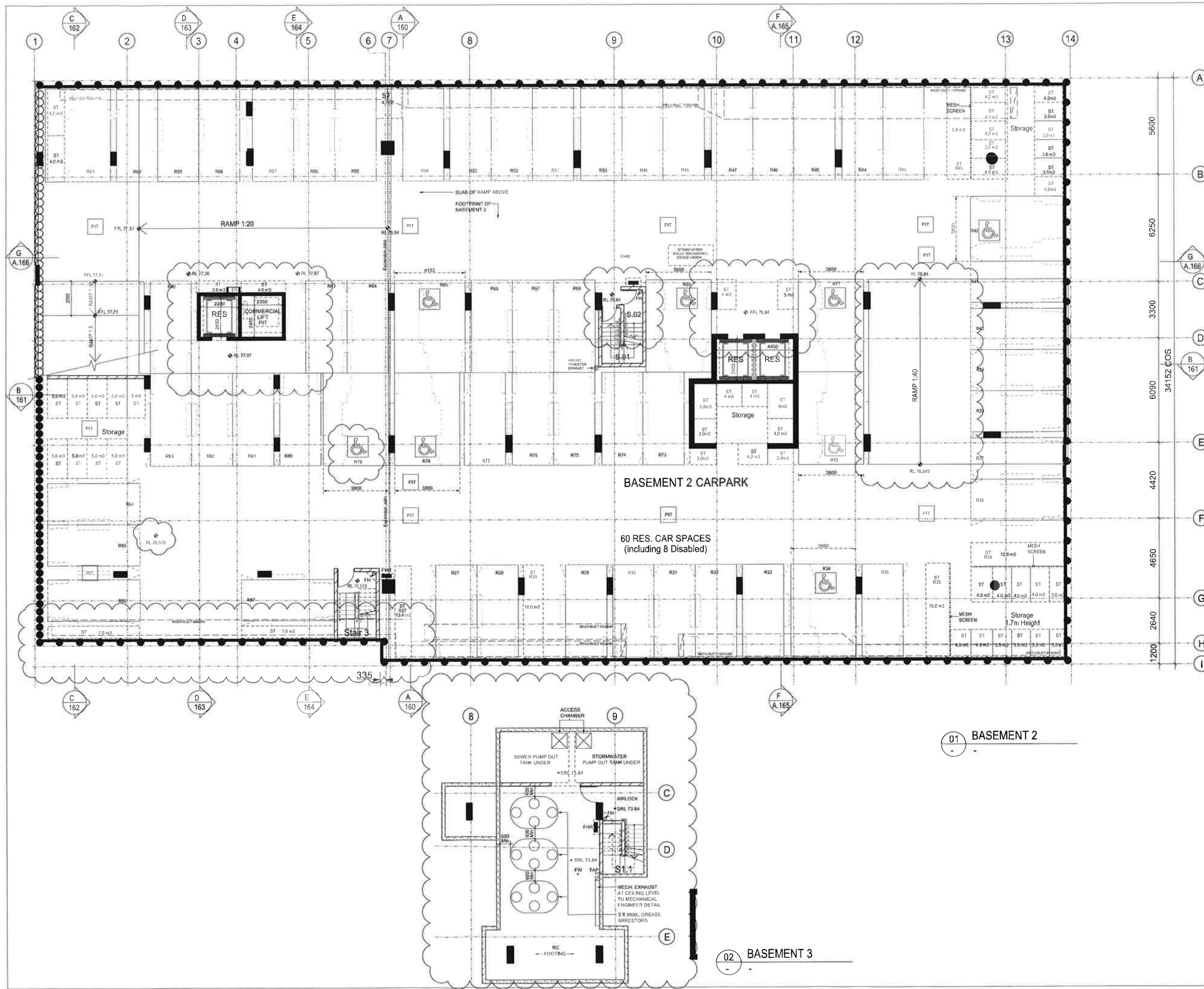
C



File

SYNCS

04/05/14



PRELIMINARY

WALL TYPE LEGEND:

- EW 1 - denotes EXTERNAL WALL TYPE 1
- IT 2 - denotes INTER-TENANCY WALL TYPE 2
- IW 3 - denotes INTERNAL WALL TYPE 3
- CW 1 - denotes COMMON WALL TYPE 1
- BW 2 - denotes BASEMENT WALL TYPE 2
- LW 1 - denotes LIFT & STAIR WALL TYPE 1
- SW 2 - denotes SHAFT WALL TYPE 2

NOTES:

1. TYPICAL APARTMENT INTERNAL WALLS TO BE TYPE IW.1 UNO
2. READ IN CONJUNCTION WITH WALL TYPE DRAWING A.310

WALL TYPE KEY:

- CONCRETE PIER (Basement) or CIRCULAR COLUMN TO ENGINEER'S DESIGN
- 150 mm CONCRETE BLOCK WALL
- 13 PB + 75 HEBEL + 53 CAVITY + 76 STUD + INSUL + 13 PB = 230 mm (adjacent to conc. columns)
- 13 PB + 75 HEBEL + 20 CAVITY + 64 STUD + INSUL + 13 PB = 185 mm (not adjacent to conc. columns)
- 13 PB + 76 STUD + INSUL + 13 PB
- 13 PB + 64 STUD + INSUL + 20 (min.) CAVITY

KEY TO SYMBOLS:

- WINDOW NUMBER eg. Window No 13 on Level 1
- DOOR NUMBER eg. Door No 2 on Level 1 is Door type "G"
- ADDITIONAL REQUIRED STORAGE AREA

NOTES:

1. READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS
 - (a) FLOOR FINISHES AND SLOPES
 - (b) EXISTING WALLS AND STRUCTURE
 - (c) EXISTING SERVICES AND UTILITIES
 - (d) EXISTING LANDSCAPE AND SITEWORK
 - (e) EXISTING ROADS AND DRIVEWAYS
 - (f) EXISTING UTILITIES AND SERVICES
 - (g) EXISTING STRUCTURE AND FOUNDATIONS
 - (h) EXISTING SITEWORK AND LANDSCAPE
 - (i) EXISTING ROADS AND DRIVEWAYS
 - (j) EXISTING UTILITIES AND SERVICES
 - (k) EXISTING STRUCTURE AND FOUNDATIONS
 - (l) EXISTING SITEWORK AND LANDSCAPE
 - (m) EXISTING ROADS AND DRIVEWAYS
 - (n) EXISTING UTILITIES AND SERVICES
 - (o) EXISTING STRUCTURE AND FOUNDATIONS
 - (p) EXISTING SITEWORK AND LANDSCAPE
 - (q) EXISTING ROADS AND DRIVEWAYS
 - (r) EXISTING UTILITIES AND SERVICES
 - (s) EXISTING STRUCTURE AND FOUNDATIONS
 - (t) EXISTING SITEWORK AND LANDSCAPE
 - (u) EXISTING ROADS AND DRIVEWAYS
 - (v) EXISTING UTILITIES AND SERVICES
 - (w) EXISTING STRUCTURE AND FOUNDATIONS
 - (x) EXISTING SITEWORK AND LANDSCAPE
 - (y) EXISTING ROADS AND DRIVEWAYS
 - (z) EXISTING UTILITIES AND SERVICES
2. DIMENSIONS FROM GRID ARE SET OUT TO NEAREST FINISHED FACE OF STUD WALLING OR MASONRY WALL. DIMENSIONS PARALLEL TO GRID IN LENGTH OF WALL OR COLUMN HAVE DIMENSIONAL SET OUT TO OUTER FACES OF WALL.
3. CHECK SETTING OUT OF ACCESSIBLE TOILET WALLS PRIOR TO SLOPING WALLS TO ENSURE FINISH COULD BE SET OUT WITH MINIMUM OVERSIGHT FOR ACCESSIBLE TOILETS AS REQUIRED BY AS 1428.1:2009
4. CONSULT ARCHITECT REVISIONS MAY DISCREPANCY BETWEEN DRAWINGS 3000 TO SUBMISSION OF TENDER. PRIOR TO SIGNING OF CONTRACT AND BEFORE EXECUTING THE WORKS.
5. WHERE DISCREPANCIES REMAIN UNREPORTED, THE LARGER QUANTITY OF WORK SHALL BE TAKEN TO HAVE BEEN ADOPTED IN THE TENDER AND/OR THE CONTRACT.
6. VERTICAL CONTROL, JOINTS IN BRICK AND CONCRETE BLOCK WALLS ARE TO ALIGN WITH CONTROL JOINTS IN CONCRETE IN WALLS SET OUT BY STRUCTURAL ENGINEER OR TO ALIGN WITH DOOR / WINDOW EDGES OR THE REAR OF DOWNPIST OR REINFORCED CORNERS AND A 100mm SETTING OUT TOLERANCE SHALL BE MAINTAINED.
7. ALLOW 100mm FOR FULL LEVELS INTERNALLY AND TO EXTERNALLY AND FINISH TO DIMENSIONS ALL LEVELS INDICATED.

* Level 4 does not exist
* Unit numbers 4 and 14 do not exist on each level

Issue	Amendment Description	Date
V	ISSUED FOR COORDINATION	14.10.14
U	AMENDED FOR SUBMISSION	15.10.14
T	PRELIMINARY ISSUE FOR COORDINATION	23.09.14
S	GREASE ARRESTOR & TANKS ROOM AMENDED STORAGE REARRANGED.	10.09.14
R	ISSUED FOR COORDINATION	26.08.14
Q	Issued to consultants	17.08.14

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Client: **AUSTINO**

Drawing Title: **BASEMENT 2 PLAN**

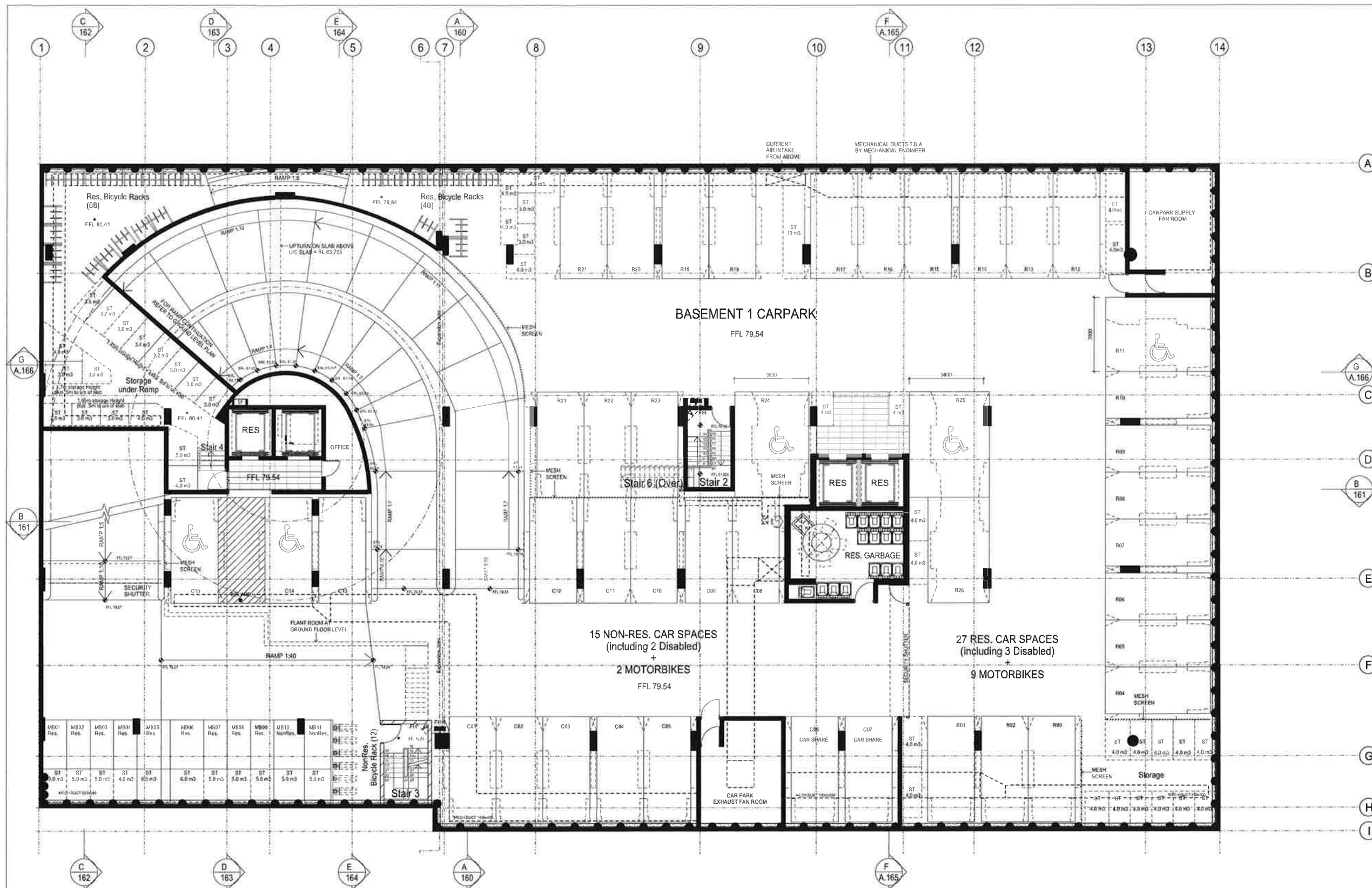
Project: **METROPOLITAN residences**
7-19 Albany Street, St. Leonards NSW

Scale: 1:100 @ A1 Job No: 1306

Checked: MC Drawn: MC, TT, DBV

Drawing No: **A.100** Issue: **V**

7/8 5/8 6/8 7/8 8/8 9/8 10/8 11/8 12/8 13/8 14/8



PRELIMINARY

WALL TYPE LEGEND:

- EW 1 - denotes EXTERNAL WALL TYPE 1
- IT 2 - denotes INTER-TENANCY WALL TYPE 2
- W 3 - denotes INTERNAL WALL TYPE 3
- CW 1 - denotes COMMON WALL TYPE 1
- BW 2 - denotes BASEMENT WALL TYPE 2
- LW 1 - denotes LIFT & STAIR WALL TYPE 1
- SW 2 - denotes SHAFT WALL TYPE 2

NOTES:

1. TYPICAL APARTMENT INTERNAL WALLS TO BE TYPE W/1 UNO
2. READ IN CONJUNCTION WITH WALL TYPE DRAWING A.310

WALL TYPE KEY:

- CONCRETE PIER (Basement) or CIRCULAR COLUMN (Apartments)
- CONCRETE WALL OR COLUMN TO ENGINEER'S DESIGN
- 190 mm CONCRETE BLOCK WALL
- 13 PB + 75 HEBEL + 53 CAVITY + 76 STUD + INSUL + 13 PB = 230 mm (adjacent to conc. columns)
- 13 PB + 75 HEBEL + 20 CAVITY + 64 STUD + INSUL + 13 PB = 185 mm (not adjacent to conc. columns)
- 13 PB + 76 STUD + INSUL + 13 PB
- 13 PB + 64 STUD + INSUL + 20 (min.) CAVITY

KEY TO SYMBOLS:

- WINDOW NUMBER eg. Window No 13 on Level 1
- DOOR NUMBER eg. Door No 2 on Level 1 is Door type "G"
- ADDITIONAL REQUIRED STORAGE AREA

NOTES:

1. READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS:
 - (a) FLOOR PLAN & ELEVATIONS
 - (b) CONCRETE PILES & 75 TO 145 mm
 - (c) REINFORCED CONCRETE & 150 TO 180 mm
 - (d) REINFORCED CONCRETE & 150 TO 180 mm
 - (e) REINFORCED CONCRETE & 150 TO 180 mm
 - (f) REINFORCED CONCRETE & 150 TO 180 mm
 - (g) REINFORCED CONCRETE & 150 TO 180 mm
 - (h) REINFORCED CONCRETE & 150 TO 180 mm
 - (i) REINFORCED CONCRETE & 150 TO 180 mm
 - (j) REINFORCED CONCRETE & 150 TO 180 mm
 - (k) REINFORCED CONCRETE & 150 TO 180 mm
 - (l) REINFORCED CONCRETE & 150 TO 180 mm
 - (m) REINFORCED CONCRETE & 150 TO 180 mm
 - (n) REINFORCED CONCRETE & 150 TO 180 mm
 - (o) REINFORCED CONCRETE & 150 TO 180 mm
 - (p) REINFORCED CONCRETE & 150 TO 180 mm
 - (q) REINFORCED CONCRETE & 150 TO 180 mm
 - (r) REINFORCED CONCRETE & 150 TO 180 mm
 - (s) REINFORCED CONCRETE & 150 TO 180 mm
 - (t) REINFORCED CONCRETE & 150 TO 180 mm
 - (u) REINFORCED CONCRETE & 150 TO 180 mm
 - (v) REINFORCED CONCRETE & 150 TO 180 mm
 - (w) REINFORCED CONCRETE & 150 TO 180 mm
 - (x) REINFORCED CONCRETE & 150 TO 180 mm
 - (y) REINFORCED CONCRETE & 150 TO 180 mm
 - (z) REINFORCED CONCRETE & 150 TO 180 mm
2. FACE OF MASONRY REVEALS ARE TO BE SET OUT TO FACE OF EXTERIOR SET OUTS UNLESS OTHERWISE SPECIFIED
3. DIMENSIONS FROM GRID ARE SET OUT TO NEAR FINISHED FACE OF STUD WALLS OR MASONRY WALLS RUNNING PARALLEL TO GRID UNLESS OTHERWISE SPECIFIED
4. CHECK SETTING OUT OF ACCESSIBLE TOILET WALLS PRIOR TO BUILDING WALL TO ENSURE FINISHED DIMENSIONS RELYING WITH DIMENSIONS OF RELEVANT CONCRETE ACCESSIBLE TOILET AS REQUIRED BY AS 1429.1:2009
5. CONSULT ARCHITECT ACCORDING ANY DISCREPANCY BETWEEN DRAWINGS PRIOR TO COMMENCEMENT OF WORK
6. WHERE DISCREPANCIES REVEAL UNREPORTED, THE LARGER QUANTITY OF WORK SHALL BE TAKEN TO HAVE BEEN ALLOWED IN THE TENDER AND/OR THE CONTRACT
7. VERTICAL CONTROL, OR IN BRICK AND CONCRETE BLOCK WALLS SET TO ALIGN WITH CONTROL JOINTS AND CONCRETE FINISHED BY STRUCT. ENGINEER OR TO ALIGN WITH DOOR, WINDOW OR OTHER FINISH OF CONCRETE OR RELEVANT CONCRETE
8. DIMENSIONS TO WALLS ARE TO FINISHED SURFACES REFER TO DIMENSIONS AND SERIES AND ALSO TO BOTTOM OF FINISHED SURFACES TO FACE OF STRUCTURE
9. ALLOW TO FORM ALL LEVELS INTERNALLY AND EXTERNALLY AND FINISH TO GENERATE ALL LEVELS INDICATED

* Level 4 does not exist
* Unit numbers 4 and 14 do not exist on each level

W	CARPSPACES C12 AND C13 WIDENED	27.10.14
V <td>ISSUED FOR COORDINATION<td>14.10.14</td></td>	ISSUED FOR COORDINATION <td>14.10.14</td>	14.10.14
M <td>AMENDED DA SUBMISSION<td>13.10.14</td></td>	AMENDED DA SUBMISSION <td>13.10.14</td>	13.10.14
T <td>PRELIMINARY ISSUE FOR COORDINATION<td>23.09.14</td></td>	PRELIMINARY ISSUE FOR COORDINATION <td>23.09.14</td>	23.09.14
S <td>Issued for Coordination<td>28.08.14</td></td>	Issued for Coordination <td>28.08.14</td>	28.08.14
R <td>Supply for room relocated: additional store at indicated location: lift shaft relocated: duct work amended<td>18.08.14</td></td>	Supply for room relocated: additional store at indicated location: lift shaft relocated: duct work amended <td>18.08.14</td>	18.08.14
G <td>Issued for construction<td>12.08.14</td></td>	Issued for construction <td>12.08.14</td>	12.08.14
Issue	Amendment Description	Date

Architect

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Client

AUSTINO
PROPERTY

Drawing Title

BASEMENT 1 PLAN

Project

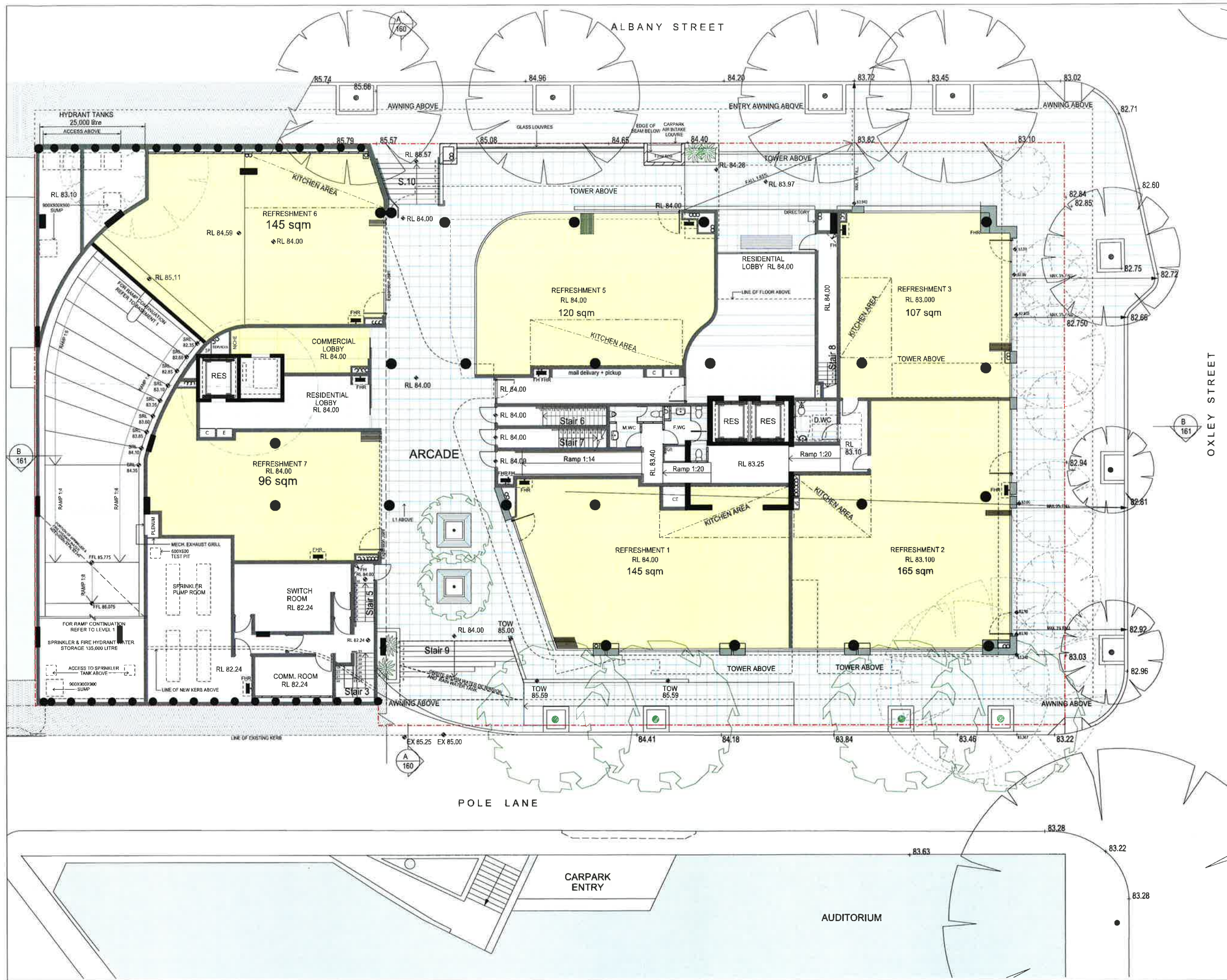
METROPOLITAN residences
7-19 Albany Street, St. Leonards NSW

Scale: 1:100 @ A1 Job No: 1305

Checked: MC Drawn: MC, TT, DBV

Drawing No: **A.101** Sheet: **W**

PLT: 1/1 STAIRS: 1/1



AMENDED DA SUBMISSION

NON - RESIDENTIAL NET AREA

EXISTING TREE
DEMOLISHED TREE
NEW TREE

NOTES:
PROPOSED TREES SHOWN IN GREEN COLOUR
* Level 4 does not exist.
* Until numbers 4 and 14 do not exist on each level.

Issue	Amendment Description	Date
X	FOOTPATH LEVELS AMENDED - GRADIENTS SHOWN	27.10.14
VI	AMENDED DA SUBMISSION	13.10.14
V	PRELIMINARY ISSUE FOR COORDINATION	23.09.14
U	Issued for Coordination	04.09.14
T	Issued for Coordination	28.08.14
S	Carpark Mechanical air intake shown Area of Refreshment 6 & Commercial Lobby amended to allow for ramp clearance. Mail location amended. Mail drop box indicated. Air intake duct to basement relocated. Stair 05 moved for carpark clearance. Security gates deleted. Hydraulic coordination between grids 1 & 3	25.08.14
R	Issued to consultants	21.08.14
Q	Issued to consultants	12.08.14

Architect
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Client
AUSTINO

Drawing Title
GROUND FLOOR PLAN

Project
METROPOLITAN residences
7-19 Albany Street, St. Leonards NSW

Scale: 1:100 @ A1 Job No: 1306

Checked: MC Drawn: MC, TT, DBV

Drawing No: **A.102** Issue: **X**

PLT: STMS: SATES:

- * Level 4 does not exist
- * Unit numbers 4 and 14 do not exist on each level

Architect

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Drawing Title

LEVEL 1 PLAN

Scale: 1:100 @ A1 Job No: 1306

Checked: MC	Drawn: MC, TT, DBV
-------------	--------------------

University No. _____ Date _____

A.103

U

FILE	STIMES	SOATES
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- * Level 4 does not exist
- * Unit numbers 4 and 14 do not exist on each level

V	AMENDED DA SUBMISSION	13.10.14
U	PRELIMINARY ISSUE FOR COORDINATION	23.09.14
T	Issued for Coordination	28.08.14
S	Issued to consultants	12.08.14
Issue	Amendment Description	Date

Architect



Cilant



Drawing Tide

LEVEL 2, 3, 5 PLAN

Project

METROPOLITAN residences
7-19 Albany Street, St. Leonards NSW

Scale: 1:100 @ A1 Job No: 1306

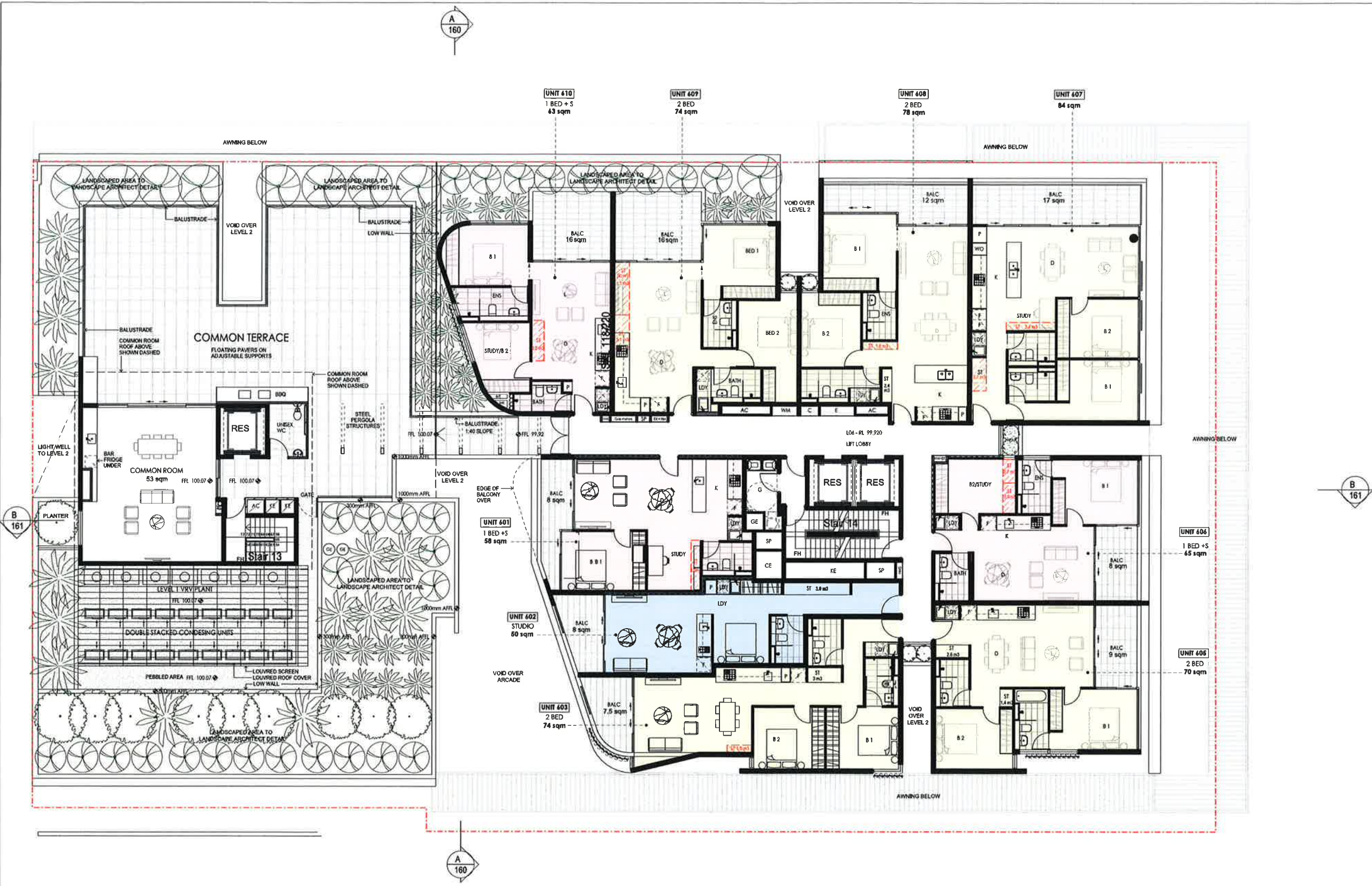
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Drawing No.	ISSUE
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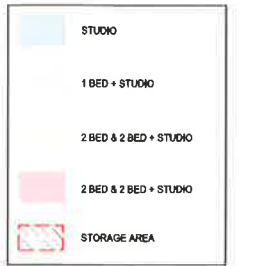
A.104	V
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FILE	ITEMS	SOURCES
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AMENDED DA SUBMISSION



* Level 4 does not exist
* Unit numbers 4 and 14 do not exist on each level

W	AMENDED DA SUBMISSION	13.10.14
V	PRELIMINARY ISSUE FOR COORDINATION	23.08.14
U	Issued for Coordination	28.08.14
T	Issued for consultation	12.08.14
S	Additional required storage areas shown highlighted	22.07.14
R	Minor revision to internal layout	02.07.14
Q	Issue for DEVELOPMENT APPLICATION	27.05.14
Issue	Amendment Description	Date

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Client

AUSTINO
PROPERTY DEVELOPERS

Drawing Title

LEVEL 6 PLAN

Project

METROPOLITAN residences
7-19 Albany Street, St Leonards NSW

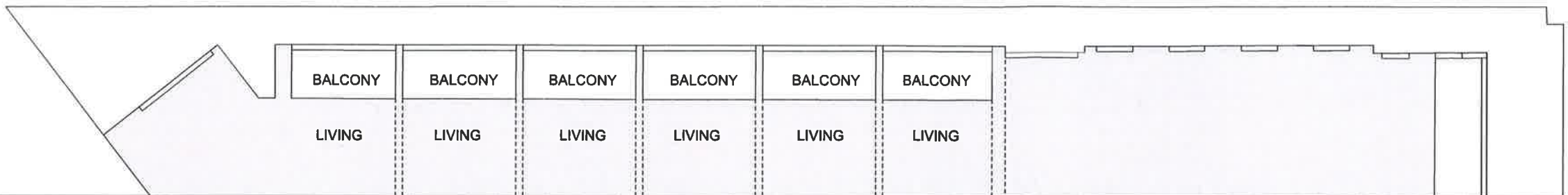
Scale: 1:100 @ A1 Job No: 1308

Checked: MC Drawn: MC, TT, DBV

Drawing No: A.105 Issue: W



REV
DATE
BY





ALBANY STREET



POLE LANE

AMENDED DA SUBMISSION



* Level 4 does not exist
* Unit numbers 4 and 14 do not exist on each level

V	AMENDED DA SUBMISSION	13.10.14
U	PRELIMINARY ISSUE FOR COORDINATION	24.09.14
T	Issued for Coordination	28.06.14
S	Issued to consultants	12.06.14
R	Additional required storage area shown halched	22.07.14
Q	Units '01' nominal as Adaptable, layout revised	02.07.14
P	Issue for DEVELOPMENT APPLICATION	27.05.14
Issue	Amendment Description	Date

Architect

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Client

AUSTINO
RESIDENTIAL GROUP

Drawing Title

LEVELS 10 - 12 PLAN

Project

METROPOLITAN residences
7-19 Albany Street, St. Leonards NSW

Scale: 1:100 @ A1 Job No: 1306

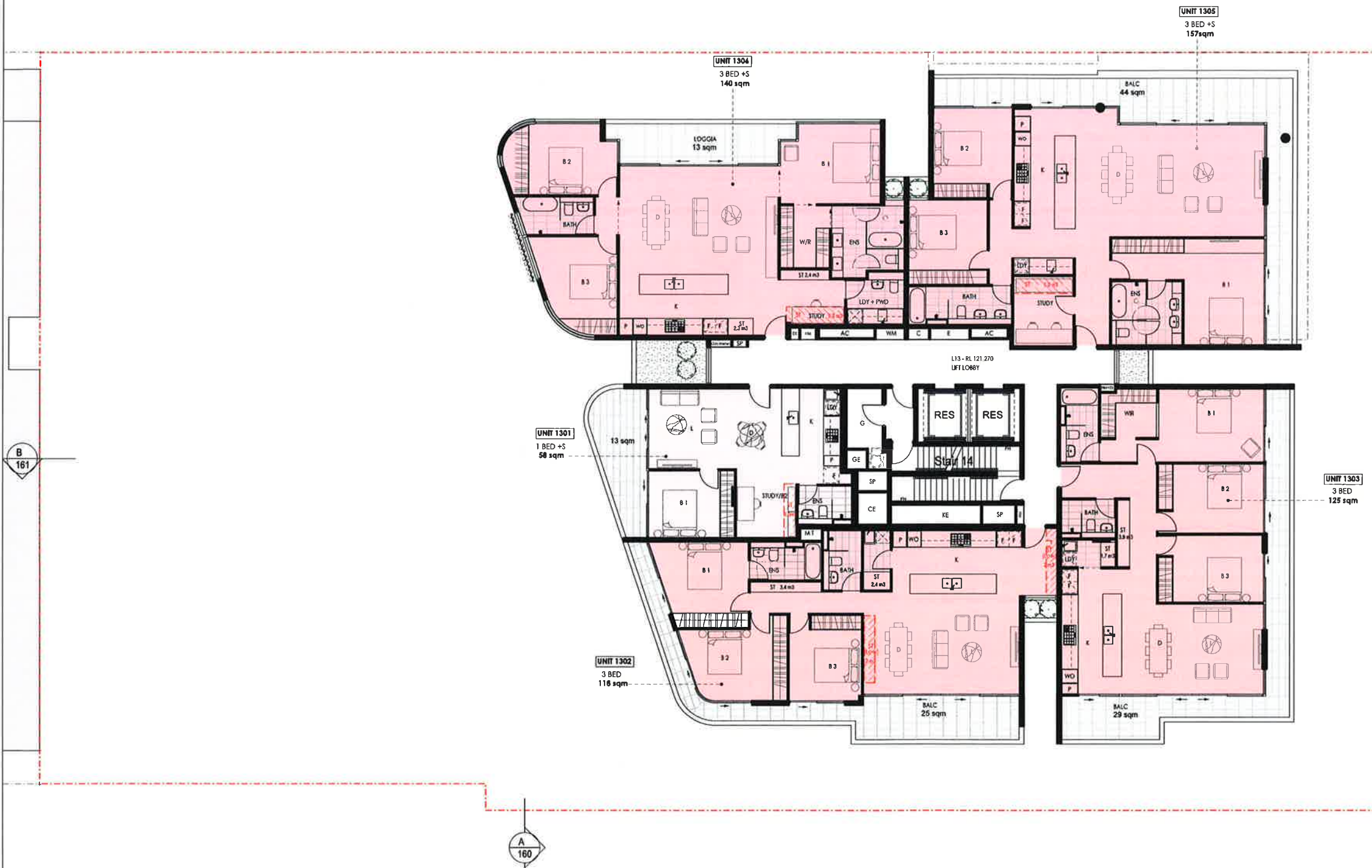
Checked: MC Drawn: MC, TT, DBV

Drawing No: **A.107** Issue: **V**

File: TIMES Dates:



ALBANY STREET



POLE LANE

AMENDED DA SUBMISSION



* Level 4 does not exist
* Unit numbers 4 and 14 do not exist on each level

S	AMENDED DA SUBMISSION	13.10.14
R	PRELIMINARY ISSUE FOR COORDINATION	24.09.14
Q	Issued for Coordination	28.08.14
P	Issued to consultants	12.06.14
O	Additional required storage area shown hatched	22.07.14
N	Minor Revision to Internal layout	02.07.14
M	Issue for DEVELOPMENT APPLICATION	27.06.14
Issue	Amendment Description	Date

Architect

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Client

AUSTINO
PROPERTY DEVELOPMENT

Drawing Title

LEVEL 13 PLAN

Project

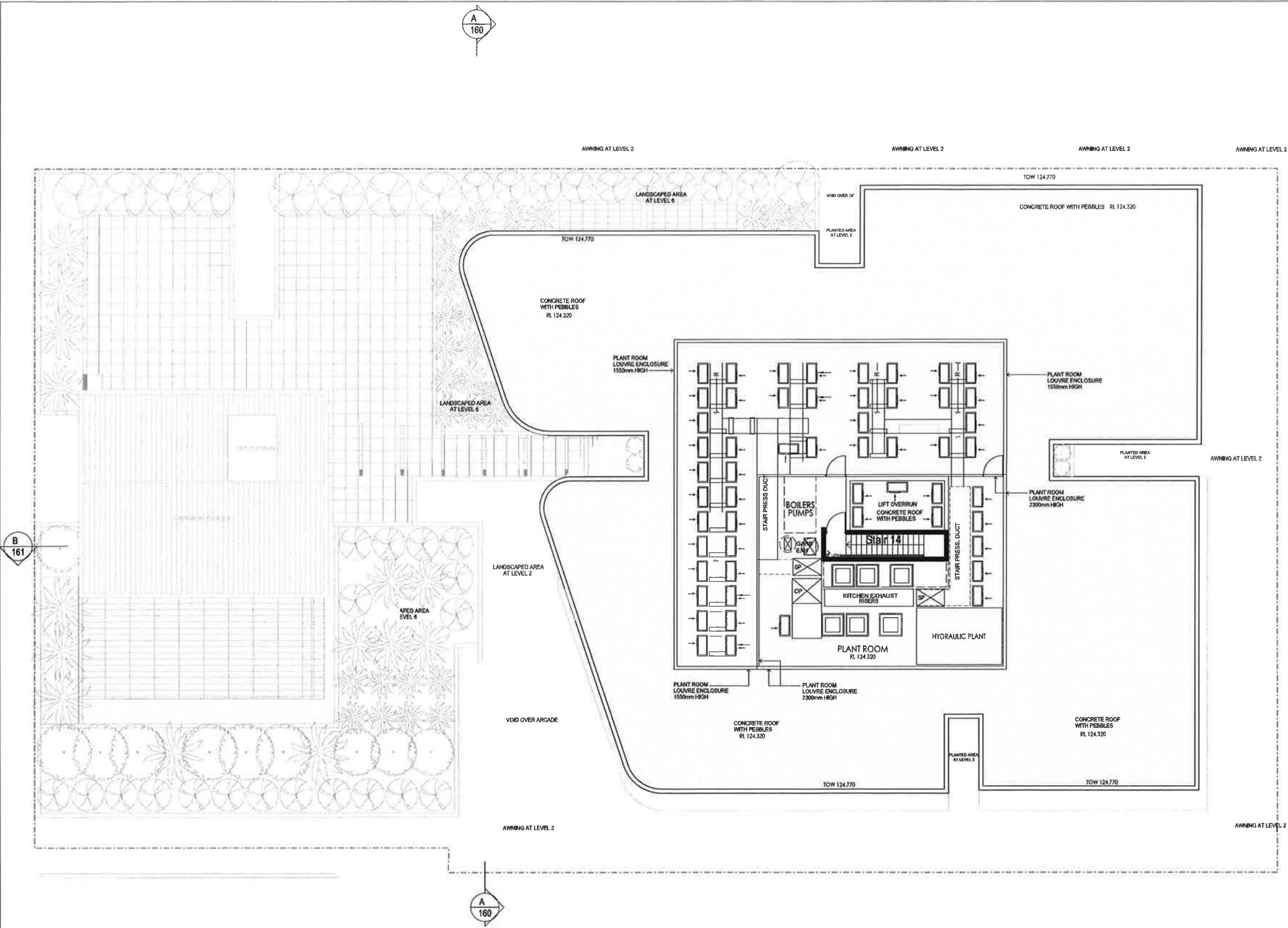
METROPOLITAN residences
7-19 Albany Street, St. Leonards NSW

Scale: 1:100 @ A1 Job No: 1308

Checked: MC Drawn: MC, TT, DBV

Drawing No: **A.108** Issue: **S**

DATE



AMENDED DA SUBMISSION

* Level 4 does not exist
* Unit numbers 4 and 14 do not exist on each level

H	AMENDED DA SUBMISSION	13.10.14
G	PRELIMINARY ISSUE FOR COORDINATION	24.08.14
F	Issued for Coordination	28.06.14
E	Plant room amended for coordination: Access from fire stair indicated.	21.06.14
D	Issued to consultants	12.06.14
C	Issue for DEVELOPMENT APPLICATION	27.05.14
B	Issue to Consultants	15.04.14
A	Issue to Consultants: - Roof plan revised, transferred from drawing A.108	01.04.14
Issue	Amendment Description	Date

Architect

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Client

AUSTINO
PROPERTY GROUP

Drawing Title

ROOF PLAN

Project

METROPOLITAN residences
7-19 Albany Street, St. Leonards NSW

Scale: 1:100 @ A1 Job No: 1306

Checked: MC Drawn: MC, TT, DBV

Drawing No. Issue

A.109

H



DATE



FINISHES LEGEND :

01. Laminam cladding from "Living Tiles"
02. Metal Cladding
03. Perforated Metal Panel (as part of Balustrade)
04. Vertical Louvers - Satin Dark-Bronze Anodised
05. Horizontal Louvers - Satin Dark-Bronze Anodised
06. Perforated Sliding Screen - Satin Slate-Grey
07. S/S Fixed Screen to L1 shops
08. Vertical Metal Blades - Satin Dark-Bronze Anodised
09. Off-Form Reinforced Concrete - Paint Finish
10. Rendered Brick Wall - Paint Finish
11. Frameless Toughened Glass to Shop fronts
12. Exposed Steel Paint Finish
13. Frameless Glass Balustrade with S/S Top Rail
14. Metal Balustrade - Painted
15. Stone Cladding
16. Aluminium Framed Sliding Doors/Windows - Satin Dark-Bronze Anodised
17. Glass Louvers
18. Metal Louvered Doors or Panels
19. Roller Shutter
- 20.

LEGEND :

- A. Residential Entry
- B. Non-Residential Entry
- C. Fire Exits
- D. Fire Stairs
- E. Arcade
- F. Electrical Substation
- G. Booster Valve
- H. Platform Lift (folded up)
- I. Lift Overrun
- J. Light Well
- K. Planted Area

* Level 4 does not exist
* Unit numbers 4 and 14 do not exist on each level

I	AMENDED DA SUBMISSION	13.10.14
H	Issued for Coordination	28.08.14
G	Issue for DEVELOPMENT APPLICATION	27.05.14
Issue	Amendment Description	Date:

Architect

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Client

AUSTINO
ARCHITECTS

Drawing Title

NORTH ELEVATION

Project

METROPOLITAN residences
7-19 Albany Street, St. Leonards NSW

Scale: 1:200 @ A1 Job No: 1306

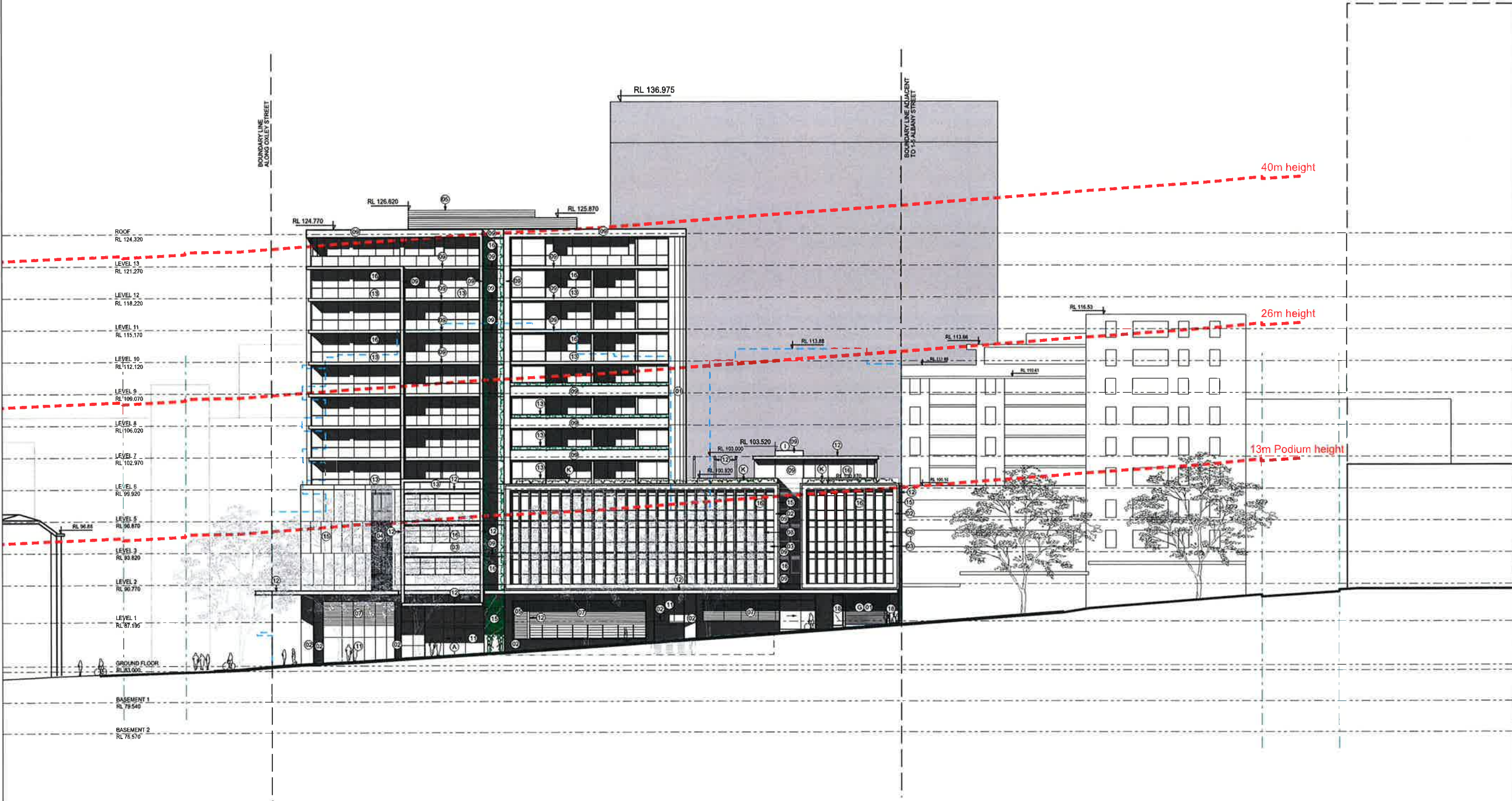
0m 2 4 6 8 12

Checked: MC Drawn: MC, TT, DBV

Drawing No. Issue

A.150

File STAGES SCALES



Approved DA (7-19 Albany St)

FINISHES LEGEND :

01. Laminar cladding from "Living Tiles"
02. Metal Cladding
03. Perforated Metal Panel (as part of Balustrade)
04. Vertical Louvers - Satin Dark-Bronze Anodised
05. Horizontal Louvers - Satin Dark-Bronze Anodised
06. Perforated Sliding Screen - Satin Slate-Grey
07. S/S Fixed Screen to L1 shops
08. Vertical Metal Blades - Satin Dark-Bronze Anodised
09. Off-Form Reinforced Concrete - Paint Finish
10. Rendered Block Wall - Paint Finish
11. Frameless Toughened Glass to Shop fronts
12. Exposed Steel Paint Finish
13. Frameless Glass Balustrade with S/S Top Rail
14. Metal Balustrade - Painted
15. Stone Cladding
16. Aluminium Framed Sliding Doors/Windows - Satin Dark-Bronze Anodised
17. Glass Louvers
18. Metal Louvered Doors or Panels
19. Roller Shutter
- 20.

LEGEND :

- A. Residential Entry
- B. Non-Residential Entry
- C. Fire Exit
- D. Fire Stairs
- E. Arcade
- F. Electrical Substation
- G. Booster Valve
- H. Platform Lift (folded up)
- I. Lift Overrun
- J. Light Well
- K. Planted Area

* Level 4 does not exist.
* Unit numbers 4 and 14 do not exist on each level

I	AMENDED DA SUBMISSION	13.10.14
H	Issued for Coordination	28.06.14
G	Issue for DEVELOPMENT APPLICATION	27.05.14
Issue	Amendment Description	Date

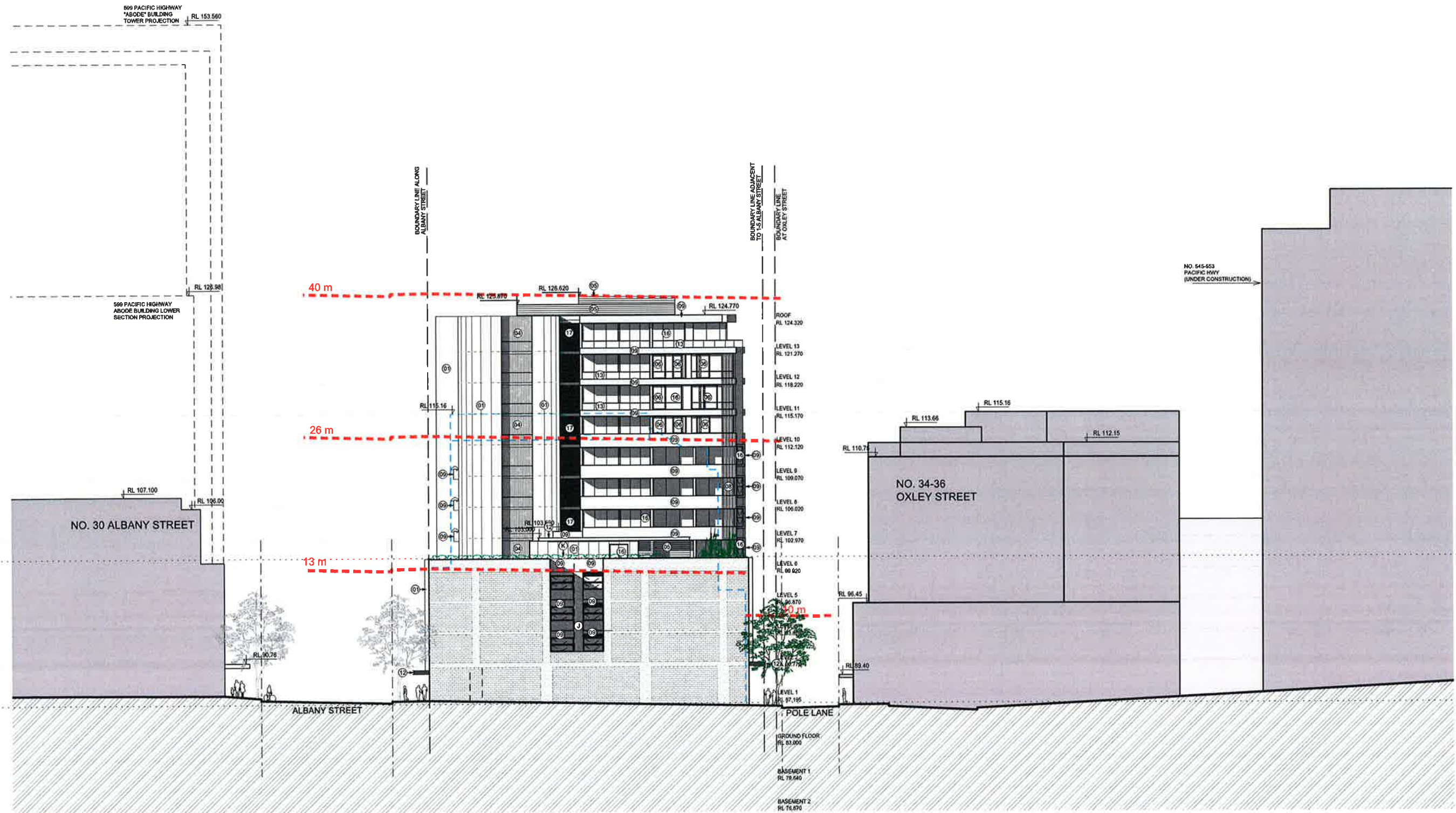
Architect
PD MAYOCH PTY LTD
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Client
AUSTINO
PROPERTY GROUP

Drawing Title
WEST ELEVATION

Project
METROPOLITAN residences
7-19 Albany Street, St. Leonards NSW

Scale: 1:200 @ A1	Job No: 1306
Checked: MC	Drawn: MC, TT, DBV
Drawing No.	Issue
A.151	1
Plot File	STAGES
	DATES



FINISHES LEGEND :

01. Laminate cladding from "Living Tiles"
02. Metal Cladding
03. Perforated Metal Panel (as part of Balustrade)
04. Vertical Louvers - Satin Dark-Bronze Anodised
05. Horizontal Louvers - Satin Dark-Bronze Anodised
06. Perforated Sliding Screen - Satin Black-Gray
07. SS Fixed Screen to L.I. shops
08. Vertical Metal Baffles - Satin Dark-Bronze Anodised
09. Off-Form Reinforced Concrete - Plain Finish
10. Rendered Block Wall - Plain Finish
11. Frameless Toughened Glass to Shop fronts
12. Exposed Steel Paint Black
13. Frameless Glass Balustrade with S/S Top Rail
14. Metal Balustrade - Painted
15. Stone Cladding
16. Aluminium Framed Sliding Doors/Windows - Satin Dark-Bronze Anodised
17. Glass Louvers
18. Metal Louvered Doors to Panels
19. Roller Shutter
- 20.

LEGEND :

- A. Residential Entry
- B. Non-Residential Entry
- C. Fire Exits
- D. Fire Stairs
- E. Arcade
- F. Electrical Substation
- G. Booster Valve
- H. Platform Lift (folded up)
- I. Lift Overrun
- J. Light Well
- K. Planned Area

* Level 4 does not exist
* Unit numbers 4 and 14 do not exist on each level

J	HEIGHT OVER DELIVERY AREA SHOWN STRAIGHTEN UP FACADE ON LEVELS 6-8 ABOVE ARCADE	27.10.14
I	AMENDED DA SUBMISSION	13.10.14
H	Issued for Coordination	28.08.14
G	Issue for DEVELOPMENT APPLICATION	27.05.14
Issue	Amendment Description	Date

Architect



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Client	
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Printing Time:

SOUTH ELEVATION

Project
METROPOLITAN residences
7-19 Albany Street, St. Leonards, NSW

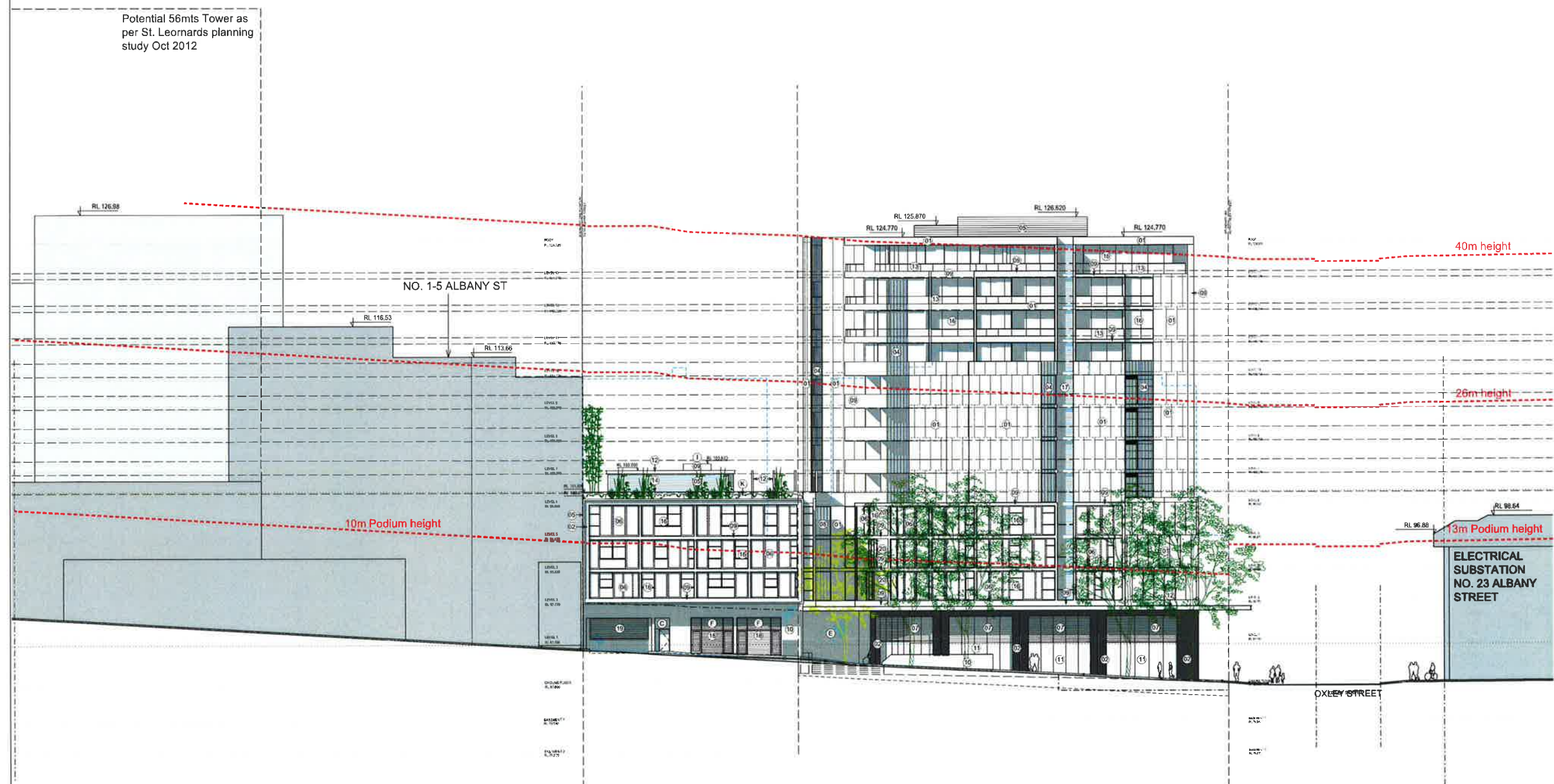
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Checked: MC	Drawn: MC, TT, DBV
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Drawing No.	Issue
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A.152	J
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7/1	STREET	DATE
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FINISHES LEGEND :

01. Laminar cladding from "Living Tiles"
02. Metal Cladding
03. Perforated Metal Panel (as part of Balustrade)
04. Vertical Louvers - Satin Dark-Bronze Anodised
05. Horizontal Louvers - Satin Dark-Bronze Anodised
06. Perforated Sliding Screen - Satin Slate-Gray
07. S/S Fined Screen to L1 shops
08. Vertical Metal Ridges - Satin Dark-Bronze Anodised
09. Off-Form Reinforced Concrete - Paint Finish
10. Rendered Block Wall - Paint Finish
11. Frameless Toughened Glass to Shop fronts
12. Exposed Steel Paint Finish
13. Frameless Glass Balustrade with S/S Top Rail
14. Metal Balustrade - Painted
15. Stone Cladding
16. Aluminium Framed Sliding Doors/Windows - Satin Dark-Bronze Anodised
17. Glass Louvers
18. Metal Louvered Doors or Panels
19. Roller Shutter
- 20.

LEGEND :

- A. Residential Entry
- B. Non-Residential Entry
- C. Fire Exits
- D. Fire Stairs
- E. Arcade
- F. Electrical Substation
- G. Booster Valve
- H. Platform Lift (folded up)
- I. Lift Overrun
- J. Light Well
- K. Planted Area

*Level 4 does not exist
*Unit numbers 4 and 14 do not exist on each level

I	AMENDED DA SUBMISSION	13.10.14
H	Issued for Coordination	28.08.14
G	Issue for DEVELOPMENT APPLICATION	27.05.14
Issue	Amendment Description	Date

Architect

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Client

AUSTINO
PROPERTY DEVELOPERS

Drawing Title

EAST ELEVATION

Project

METROPOLITAN residences
7-19 Albany Street, St. Leonards NSW

Scale: 1:200 @ A1 Job No: 1306

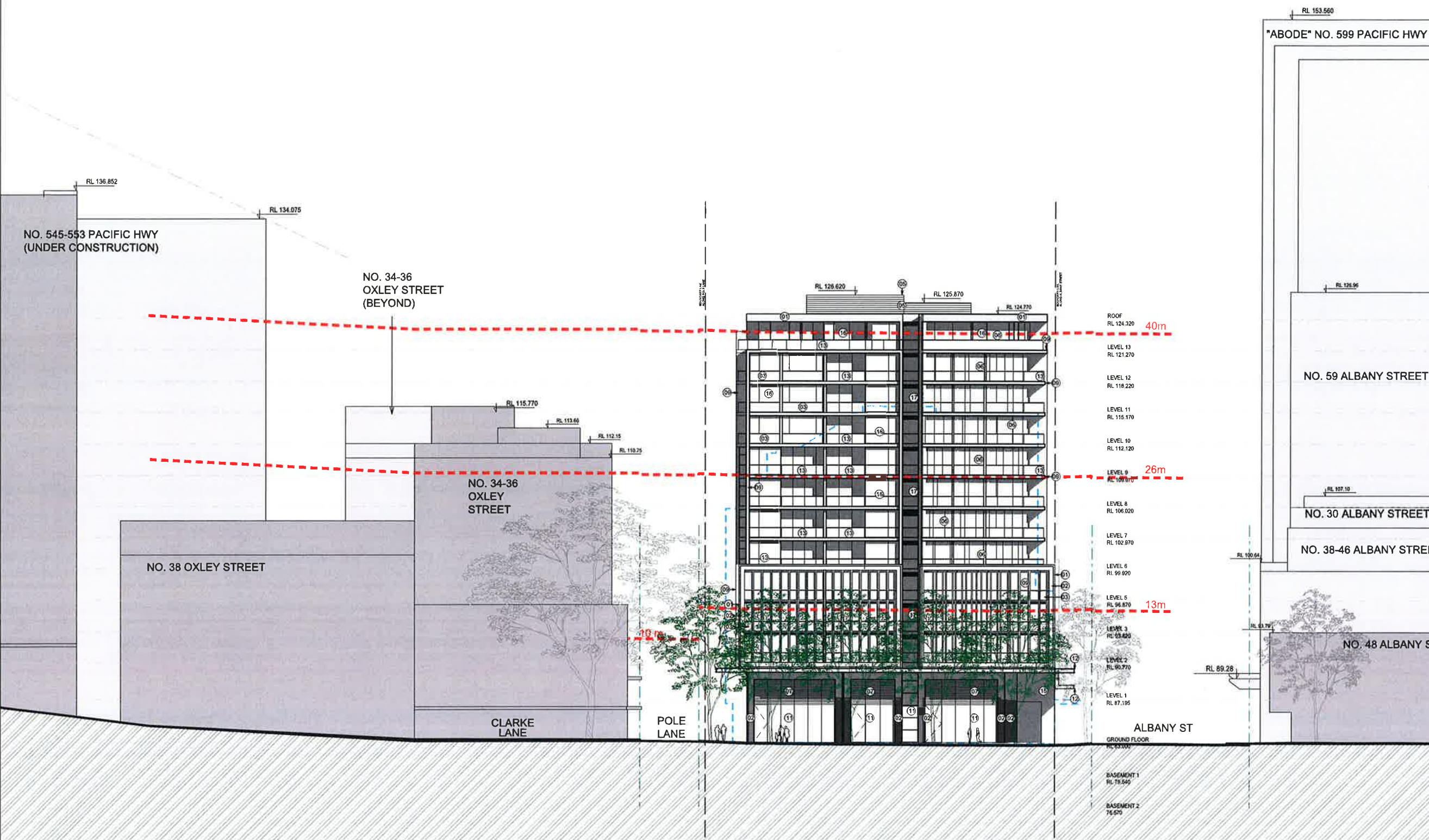
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Checked: MC Drawn: MC, TT, DBV

Drawing No. Issue

A.153 **I**

File ITMES SITES



FINISHES LEGEND :

01. Laminar cladding from "Living Tiles"
02. Metal Cladding
03. Perforated Metal Panel (as part of Balustrade)
04. Vertical Louvers - Satin Dark-Bronze Anodised
05. Horizontal Louvers - Satin Dark-Bronze Anodised
06. Perforated Sliding Screen - Satin Sate-Grey
07. S/S Fixed Screen to L1 slope
08. Vertical Metal Blades - Satin Dark-Bronze Anodised
09. Off-Farm Reinforced Concrete - Paint Finish
10. Rendered Block Wall - Paint Finish
11. Frameless Toughened Glass to Shop fronts
12. Exposed Steel Paint Finish
13. Frameless Glass Balustrade with S/S Top Rail
14. Metal Balustrade - Painted
15. Stone Cladding
16. Aluminium Framed Sliding Doors/Windows - Satin Dark-Bronze Anodised
17. Glass Louvers
18. Metal Louvered Doors or Panels
19. Roller Shutter
20.

LEGEND :

- A. Residential Entry
B. Non-Residential Entry
C. Fire Exit
D. Fire Stairs
E. Atriums
F. Electrical Substation
G. Booster Valve
H. Platform Lift (folded up)
I. Lift Overrun
J. Light Well
K. Planted Area

* Level 4 does not exist

* Unit numbers 4 and 14 do not exist on each level

L	AMENDED DA SUBMISSION	13.10.14
K	PRELIMINARY ISSUE FOR COORDINATION	25.09.14
J	Issue for Coordination	28.06.14
I	Issue for DEVELOPMENT APPLICATION	27.05.14
Issue:	Amendment Description	Date

Architect:

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Drawing Title

SECTION A

Project

METROPOLITAN residences
7-19 Albany Street, St. Leonards NSW

Scale: 1:200 @ A1 Job No: 1306

0m 2 4 6 8 10 12

Checked: MC Drawn: MC, TT, DBV

Drawing No. Issue

A.160

L

File: 17M01 Date: 13/10/14

599 PACIFIC HIGHWAY
"ABODE" BUILDING
TOWER PROJECTION

RL 153.560

599 PACIFIC HIGHWAY
ABODE BUILDING LOWER
SECTION PROJECTION

RL 128.581

40 m

RL 125.870 RL 125.620

RL 124.77

NO. 545-553
PACIFIC HWY
(UNDER CONSTRUCTION)

NO. 38
OXLEY STREET

ALBANY STREET

POLE LANE

34-36 OXLEY STREET

38-46 ALBANY STREET

13 m

RL 100.32

RL 88.91

RL 88.67

RL 89.40

RL 96.45

RL 112.15

RL 113.66

RL 115.18

ROOF
RL 124.320

LEVEL 13
RL 121.270

LEVEL 12
RL 118.220

LEVEL 11
RL 115.170

LEVEL 10
RL 112.120

LEVEL 9
RL 109.070

LEVEL 8
RL 106.020

LEVEL 7
RL 102.970

LEVEL 6
RL 99.920

LEVEL 5
RL 96.870

LEVEL 3
RL 93.820

LEVEL 1
RL 87.195

GROUND FLOOR
RL 83.905

BASEMENT 1
RL 79.545

BASEMENT 2
RL 76.875

BOUNDARY LINE ALONG
ALBANY STREET

BOUNDARY LINE ADJACENT
TO 15 ALBANY STREET

BOUNDARY LINE
AT OXLEY STREET

Architect

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MAYOH
ARCHITECTS



AUSTINO
INSURANCE

SECTION B

Scale: 1:200 @ A1

Job No: 1306

0 2 4 6 8 12

Checked: MC

Drawn: MC, TT, DBV

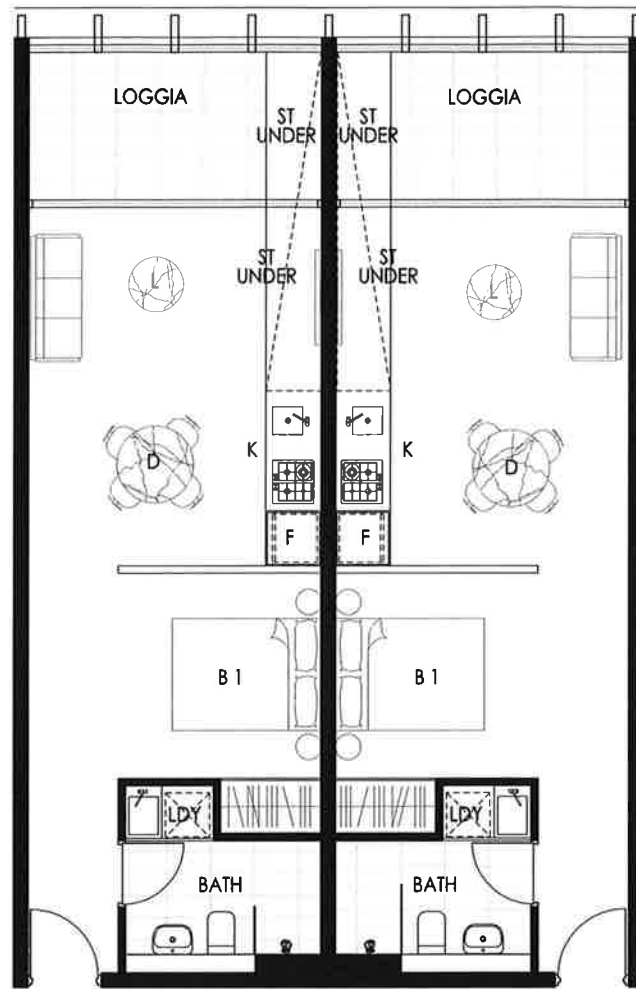
Drawing No.

A.161

Issue

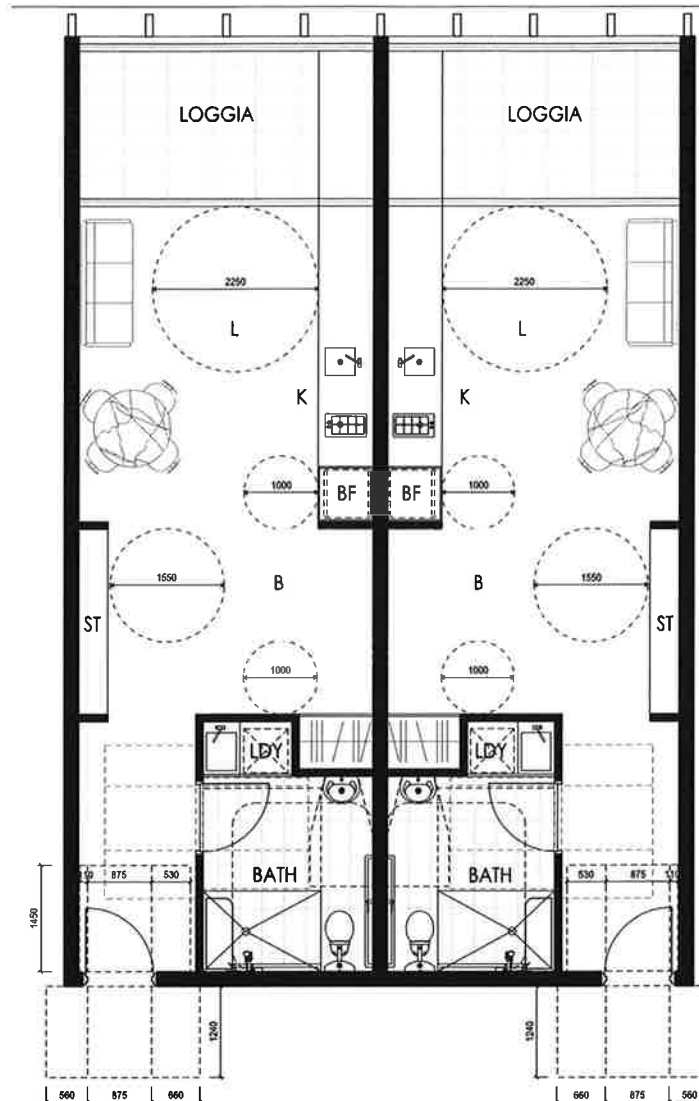
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Proj fba STRMS SCALES



01 PRE-ADAPTATION
UNIT 211, 311, 511

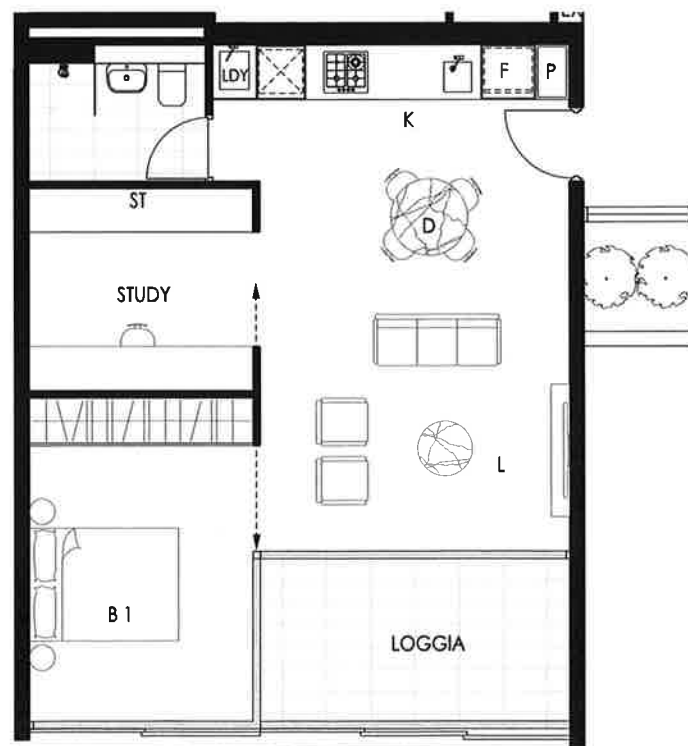
02 PRE-ADAPTATION
UNIT 210, 310, 510



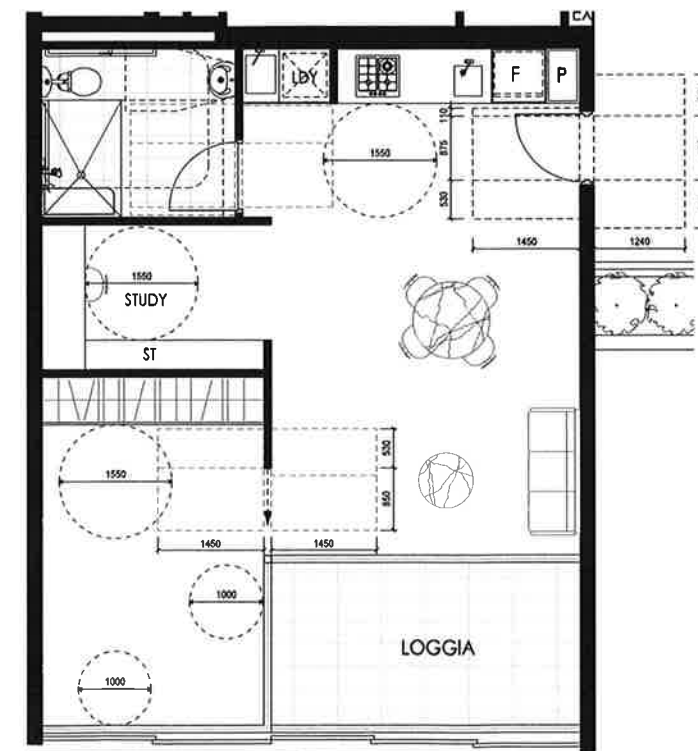
03 POST-ADAPTATION
UNIT 211, 311, 511

04 POST-ADAPTATION
UNIT 210, 310, 510

05 PRE-ADAPTATION
UNIT 203, 303, 503



06 POST-ADAPTATION
UNIT 203, 303, 503



Not for Construction

*Level 4 does not exist
*Unit numbers 4 and 14 do not exist on each level

D	Issue for DEVELOPMENT APPLICATION	27.05.14
C	Floor Level and Unit numbering revised (number 4 not used)	20.05.14
B	Issue for Coordination	02.05.14
A	Preliminary Issue	02.05.13
Issue	Amendment Description	Date

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Client:
AUSTINO PROPERTY GROUP

Drawing Title:
**ADAPTABLE UNITS
LEVEL 2, 3, 5
U203, U210, U211
U303, U310, U311
U503, U510, U511**

Project:
7-19 ALBANY STREET, ST LEONARDS

Scale: 1:50 @ A1 Job No: 1306

Checked: MC Drawn: MC, TT

Drawing No. Issue

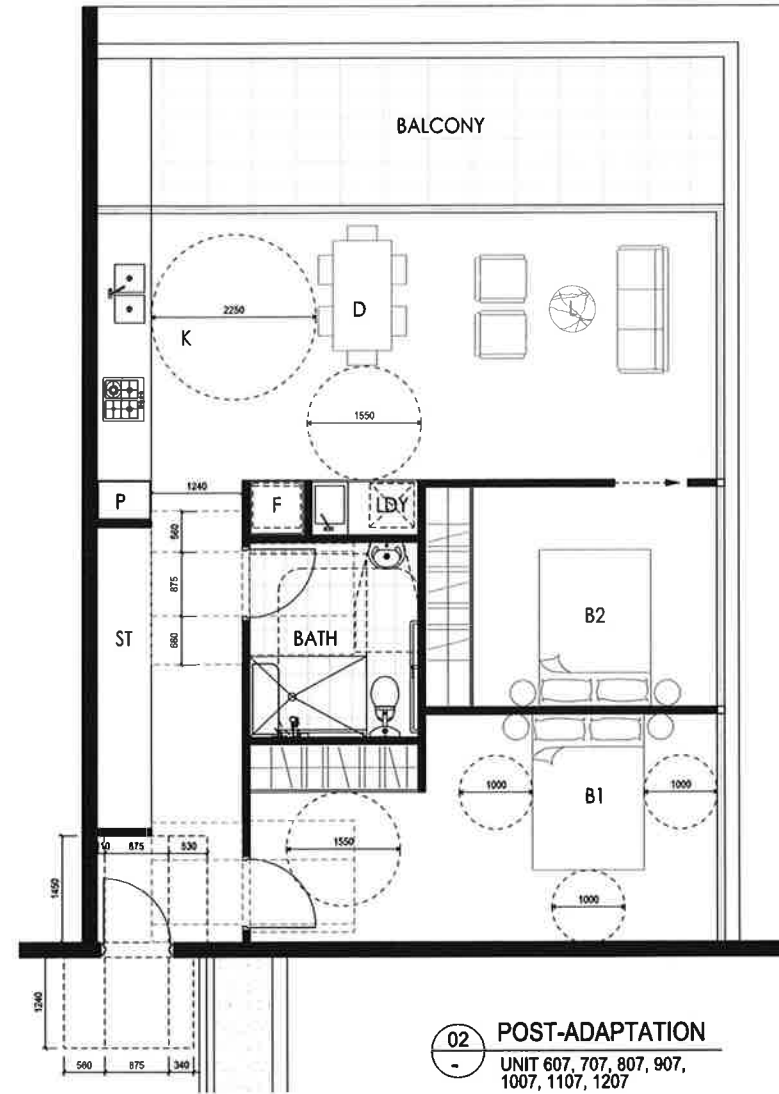
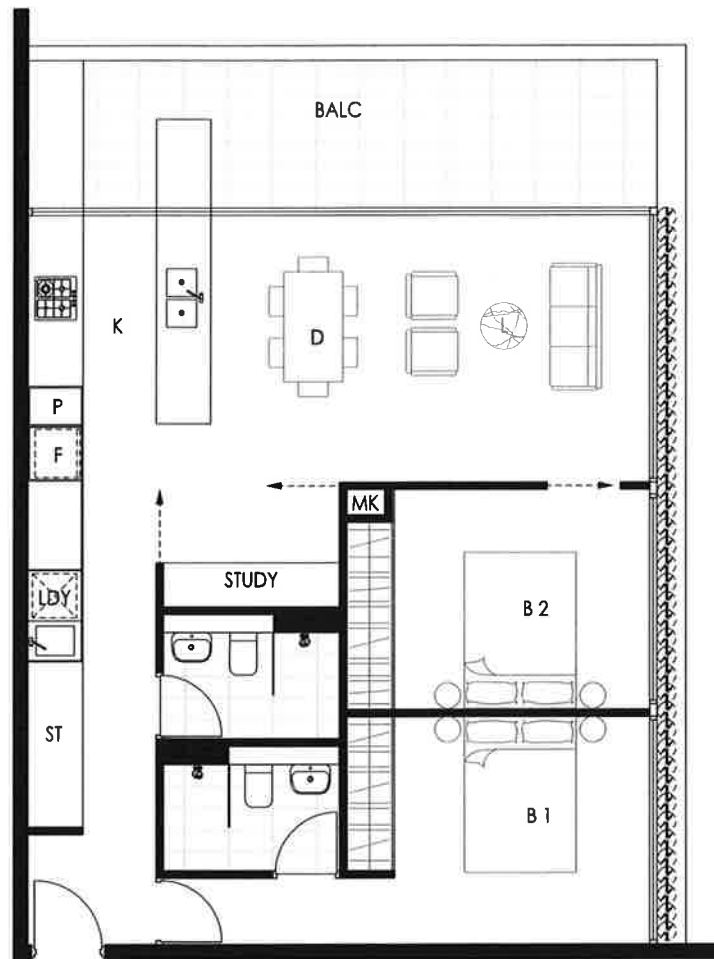
A 400 **D**

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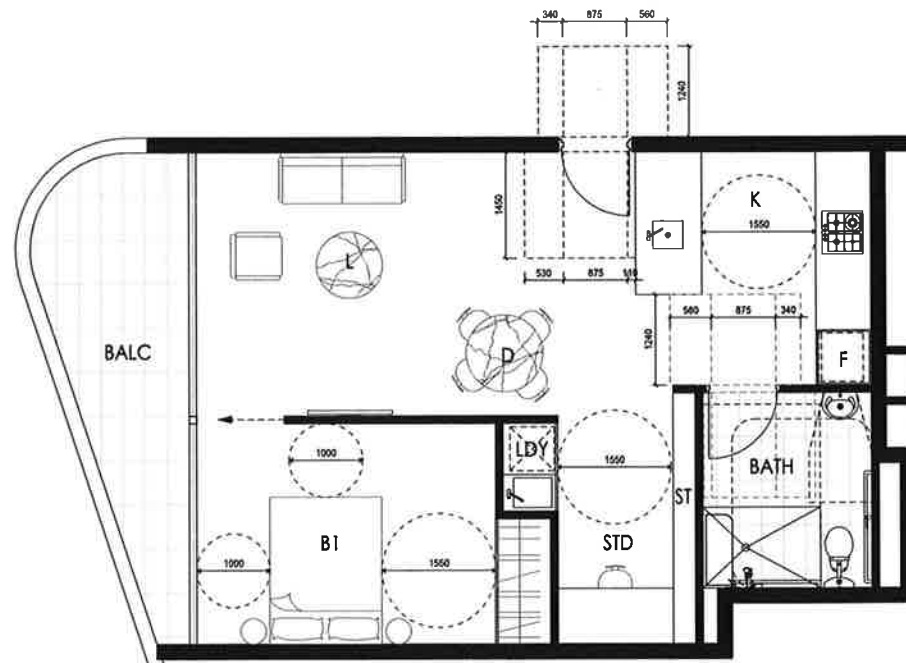
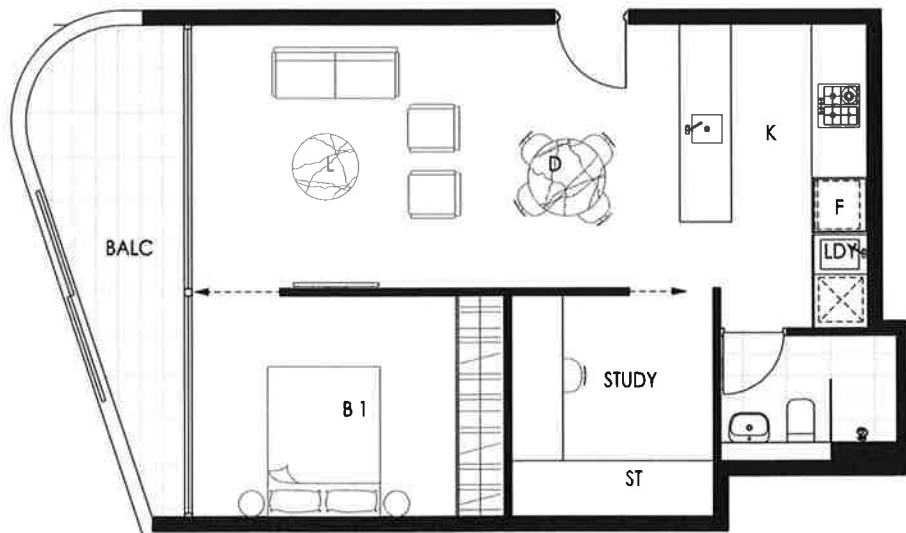


File: STMS SITES

LEVEL 6 - 12



LEVEL 7 - 9



Not for Construction

*Level 4 does not exist
*Unit numbers 4 and 14 do not exist on each level

D	Issue for DEVELOPMENT APPLICATION	27.05.14
C	Floor Level and Unit numbering revised (number 4 not used)	20.05.14
B	Issue for Coordination	02.05.14
A	Preliminary Issue	02.09.13
Issue	Amendment Description	Date

Architect
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Client
AUSTINO PROPERTY GROUP

Drawing Title
**ADAPTABLE UNITS
LEVEL 6 - 12**
U607, U701, U707, U801, U807
U901, U907, U1007, U1107, U1207

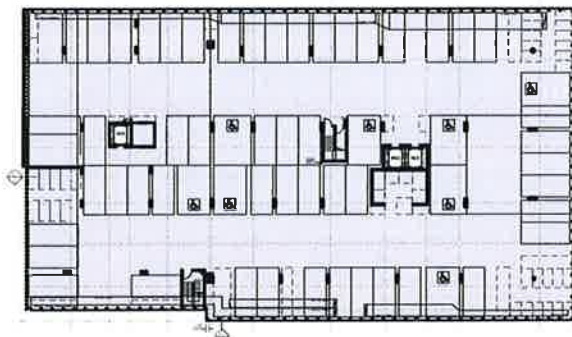
Project
7-19 ALBANY STREET, ST LEONARDS

Scale: 1:50 @ A1 Job No: 1308

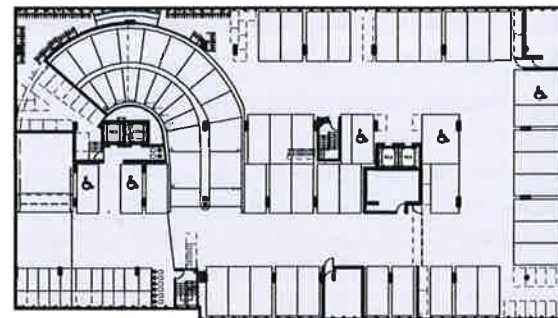
Checked: MC Drawn: MC, TT

Drawing No: **A 401** Date: **D**

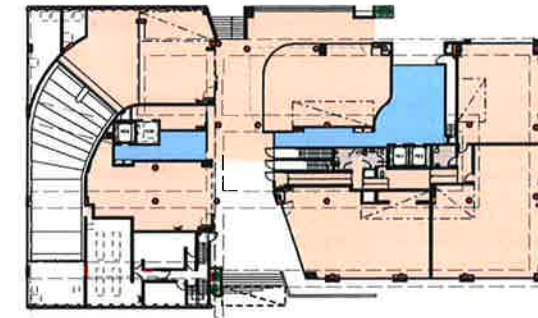
Plot: 1/10 2/10 3/10 4/10 5/10 6/10 7/10 8/10 9/10 10/10



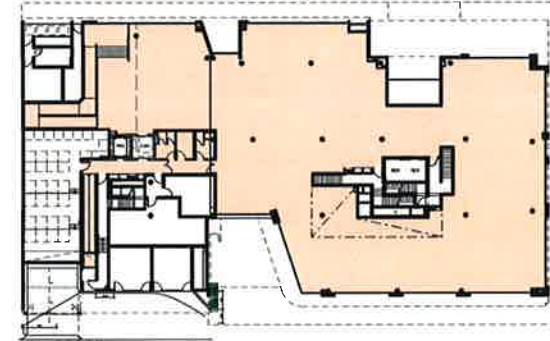
BASEMENT 2 1979 m2
Lift Area 21 m2



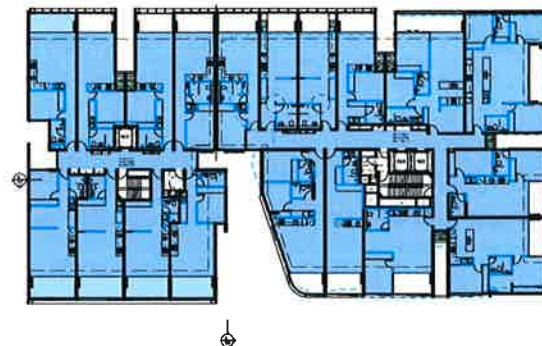
BASEMENT 1 1972 m2
Lift Area 28 m2



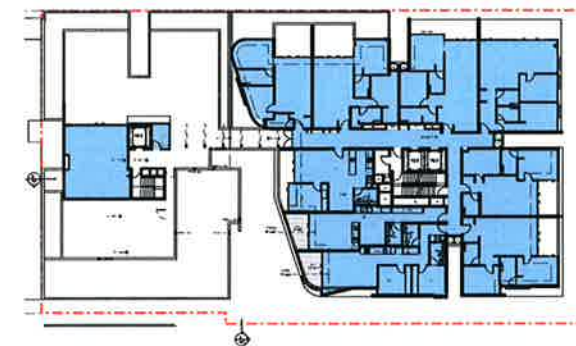
GROUND FLOOR Non-Res GFA (LEP 2013) = 1003 m2
Residential GFA (LEP 2013)= 98 m2



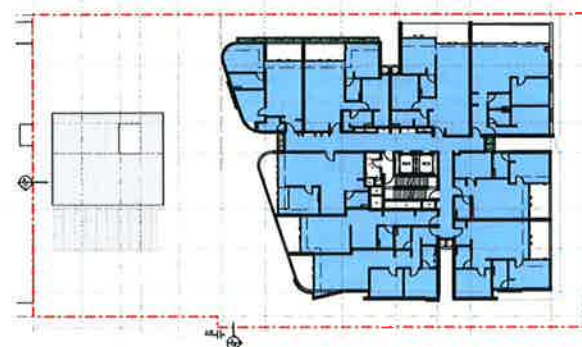
LEVEL 1 Non-Res GFA (LEP 2013) = 1033 m2



LEVEL 2, 3, 5 Residential GFA (LEP 2013) = 1256 m2 x 3
= 3768 m2



LEVEL 6 Residential GFA (LEP 2013) = (688 + 58) m2
= 746 m2



LEVEL 7 - 9 Residential GFA (LEP 2013) = 690 m2 x 3
= 2070 m2



LEVEL 10 - 12 Residential GFA (LEP 2013) = 687 m2 x 3
= 2061 m2



LEVEL 13 Residential GFA (LEP 2013) = 650 m2

AMENDED DA SUBMISSION

GROSS FLOOR AREA CALCULATIONS :

TOTAL Site Area = 2036.5 sqm (by Survey)

RESIDENTIAL GFA

As per NS LEP 2013
(area measured from internal face of
external walls) :

TOTAL = 9,393 sqm

NON - RESIDENTIAL GFA

As per NS LEP 2013
(area measured from internal face of
external walls) :

TOTAL = 2,036 sqm

Total GFA of the proposed tower scheme
As per NS LEP 2013
(area measured from internal face of
external walls) :

TOTAL GFA = 11,429 sqm

Therefore; 11,429 gfa/2036.5 site area=5.6:1

* Level 4 does not exist
* Unit numbers 4 and 14 do not exist on each level

Issue	Amendment Description	Date
M	AMENDED DA SUBMISSION	13.10.14
L	Preliminary Issue - GFA & FSR calculations adjusted	30.07.14
K	Issue for DEVELOPMENT APPLICATION	27.05.14
J	GFA & FSR calculations adjusted to latest Floorplans	02.05.14
I	Issue to Consultants	08.03.14
H	Slight change to Total GFA	26.02.14
G	GFA amendment - level 2 to level 12 (see floor plans for details)	11.02.14
F	GFA Revision (back to previous layout but level 13-14 omitted)	11.11.13
E	GFA Revision (Tower amended)	01.11.13
D	Planning Proposal Submission	26.09.13
C	Preliminary Issue	02.09.13
B	Preliminary Issue	23.08.13
A	Preliminary Issue	24.07.13

Architect
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Client
AUSTINO
PROPERTY GROUP

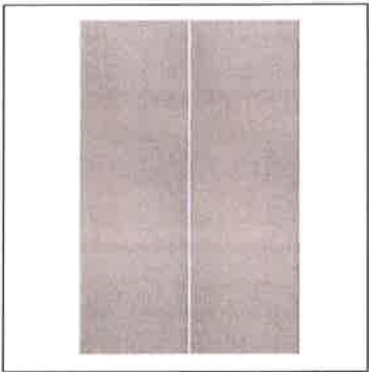
Drawing Title
GFA & FSR CALCULATIONS

Project
METROPOLITAN residences
7-19 Albany Street, St. Leonards NSW

Scale: 1:400 @ A1	Job No: 1306
Checked: MC	Drawn: MC, TT, DBV
Drawing No: A.600	Issue: M
7/2	7/2
7/2	7/2



CORNER OF ALBANY ST & OXLEY ST



Laminam Ceramic Sheet (from Living Tiles)
for Wall Cladding



Stone Cladding - Gosford Quarries Mount White Range
for Wall Cladding



Anodised Aluminium - Satin Dark Bronze
for Cladding to Expressed Framing, Window & Sliding Door framing



Clear/Tinted Glass Balustrade with Top Rail
for Balcony



Bluestone Paver 600 x 300mm - WK Stone
for External paving



Stainless Steel Mesh Screen
for Level 1 Shopfront



QS Industries Perforated Panels (Anodised finish,
Satin Slate Gray)
for Sliding Panel in Balcony

Not for Construction

A	Issue for DEVELOPMENT APPLICATION	27.05.14
Issue	Amendment Description	Date

Architect

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MAYOH

ARCHITECTS

Client

AUSTINO PROPERTY GROUP

Drawing Title

EXTERNAL FINISHES

Project

7-19 ALBANY STREET, ST LEONARDS

Scale: N/A

Job No: 1306

Checked: MC

Drawn: MC, TT

Drawing No.

A.800

Issue

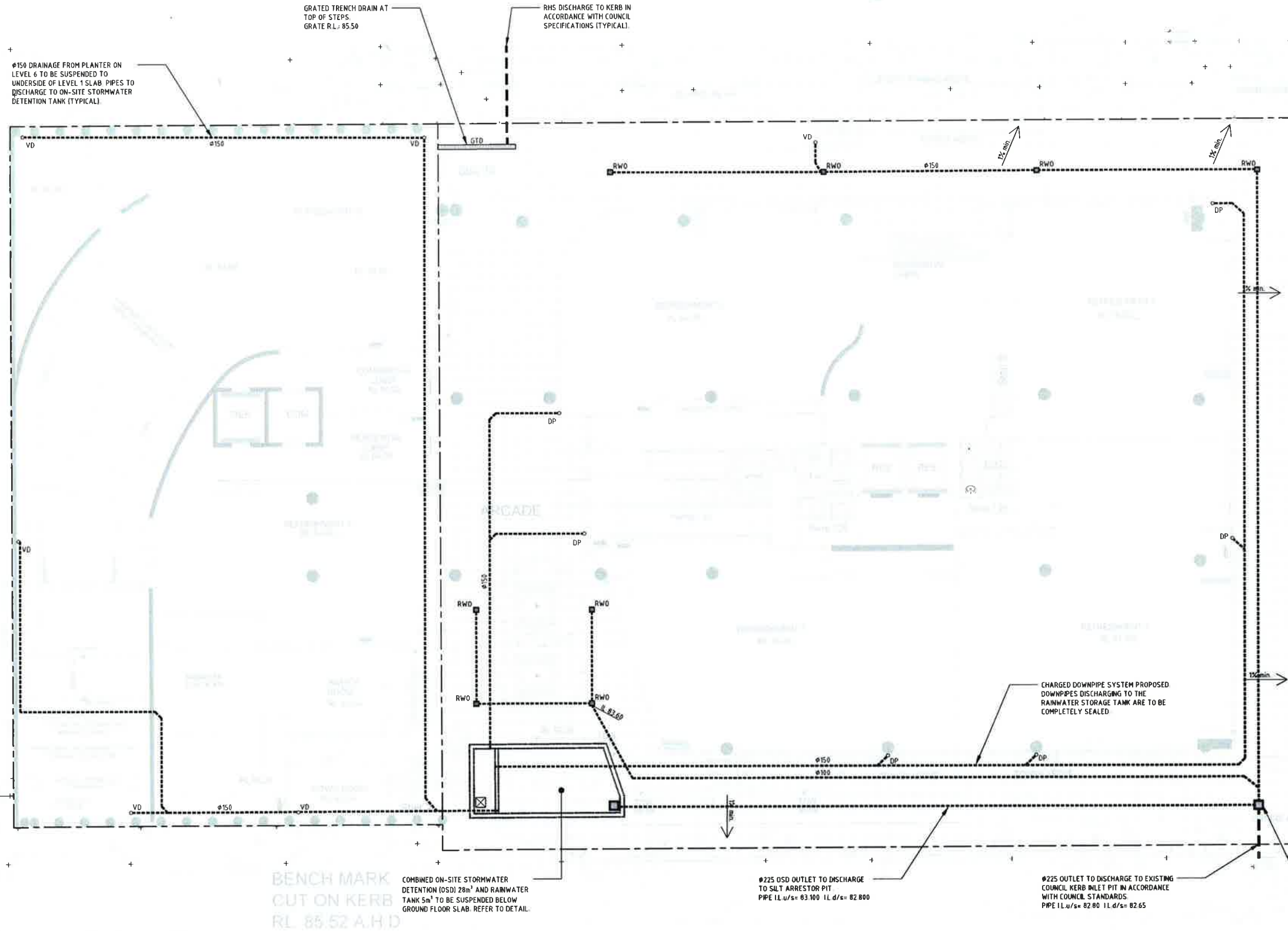
A

File

ETIMES

304TES

NOT FOR CONSTRUCTION



LEGEND	
+ RL 76.40	PROPOSED GROUND LEVEL
FFL 76.50	FINISHED FLOOR LEVEL
57.80	EXISTING SURFACE LEVEL
---	STORMWATER DRAINAGE PIPE
----	SUSPENDED STORMWATER DRAINAGE PIPE
---	Ø100 SUB-SOIL DRAINAGE PIPE
DP	PROPOSED DOWNPIPE
VD	PROPOSED VERTICAL DROPPER
GTG	GRATED TRENCH DRAIN
☐	SURFACE INLET PIT
☒	SEALED JUNCTION PIT
IO	INSPECTION OPENING
DDO	DISH DRAIN OUTLET
RWO	RAINWATER OUTLET
---	PROPERTY BOUNDARY
1% min	DIRECTION OF GROUND FALL

RAINWATER STORAGE TANK

AS PER BASIX REQUIREMENTS THE RAINWATER TANK IS TO SATISFY THE FOLLOWING:

1. MINIMUM CAPACITY OF 5,000L
2. RAINWATER TO BE USED FOR IRRIGATION OF 270m² OF COMMON LANDSCAPED AREA
3. RAINWATER TANK TO CAPTURE THE RUNOFF FROM 200m² OF ROOF AREA.

TO ENSURE THE SITE ACHIEVES COUNCIL WATER QUALITY OBJECTIVES THE FOLLOWING REQUIREMENTS ARE PROPOSED:

1. RAINWATER TO BE USED FOR TOILET FLUSHING OF AT LEAST 4 TOILETS WITHIN THE COMMERCIAL/Common AREAS

STORMWATER DRAINAGE

1. THE STORMWATER DRAINAGE DESIGN HAS BEEN CARRIED OUT IN ACCORDANCE WITH AS/NZS 3500.3.2-2003 AND IN ACCORDANCE WITH NORTH SYDNEY COUNCIL'S REQUIREMENTS.
2. SUB-SOIL DRAINAGE SHALL BE PROVIDED TO ALL PLANTER BOXES, RETAINING WALLS AND EMBANKMENTS, WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM.
3. ALL STORMWATER MANAGEMENT MEASURES SHOWN ON THIS PLAN HAVE BEEN PREPARED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. ALL MEASURES WILL BE SUBJECT TO DETAILED DESIGN AT THE CONSTRUCTION CERTIFICATE STAGE AND MAY BE SUBJECT TO VARIATION PROVIDED THAT THE DESIGN INTENT IS MAINTAINED.

SITE STORMWATER STORAGE/ DISCHARGE REQUIREMENTS

SITE RUNOFF WAS CALCULATED USING THE RATIONAL METHOD FROM ARR 1987:

$$Q = CY \times Y \times I \text{ min/hr} \times A / 360$$

Where,
CY = $I_y \times C_{10}$
Y = 1 minute rainfall intensity
A = catchment area

$$C_{10} = 0.9 \times 1 + C_{10}^{10} \times (1 - 1)$$

Where, $C_{10}^{10} = 0.1 + 0.0133 \times (10^{10} \times 1 - 25) = 0.58$

PRE-DEVELOPMENT - $C_{10} = 0.89$

	2YR	5YR	10YR	20YR	30YR	100YR
Frequency Factor K_t	0.85	0.90	1.00	1.05	1.15	1.25
Runoff Coefficient C_d	0.70	0.85	0.89	0.94	1.03	1.07

POST-DEVELOPMENT - $C_{10} = 0.90$

	2YR	5YR	10YR	20YR	30YR	100YR
Frequency Factor K_t	0.85	0.90	1.00	1.05	1.15	1.25
Runoff Coefficient C_d	0.77	0.88	0.90	0.95	1.04	1.08

THE MAXIMUM OUTFLOW AND STORAGE WAS CALCULATED USING THE TRIANGULAR HYDROGRAPH METHOD USING THE RUN-OFF CO-EFFICIENTS FROM THE TABLES ABOVE AND THE TIMES OF CONCENTRATIONS WAS CALCULATED USING THE KINEMATIC WAVE EQUATION FOR THE PRE AND POST DEVELOPMENT SCENARIO AS BEING 5 MINUTES. MAX PSD PERMITTED BY COUNCIL IS 11N 5 YEAR PRE-DEVELOPMENT SCENARIO.

WHERE, $Q_{0.5}$ IS THE FLOW FROM THE UNDEVELOPED SITE AREA. Q_d IS THE DEVELOPED FLOW WHICH TAKES INTO ACCOUNT THE FOLLOWING CATCHMENT AREAS:

- CATCHMENT AREA THAT BY-PASSES THE OSD SYSTEM = 350m²
- CATCHMENT AREA THAT DRAINS TO THE OSD SYSTEM = 1687m²

	2YR	5YR	10YR	20YR	30YR	100YR
$Q_{0.5}$	40.2	49.7	68.7	83.0	106.4	125.4
$Q_{0.5}$ (UNDEVELOPED)	50.0	50.0	50.0	50.0	50.0	50.0
$Q_{0.5}$ OSD by-pass	9.3	11.8	18.3	18.3	17.8	19.7
$Q_{0.5}$ OSD	85.9	63.7	75.4	80.8	116.1	134.2
Required OSD Vol. (m³)	6.5	7.8	11.6	16.8	28.2	31.2

NOTE: STORAGE VOLUME = $(Q_d \text{ OSD}, t_r - (Q_{0.5} t_r - Q_{\text{by-pass}}, 5 \text{ min})) \times t_r \times 60 \text{ sec}$

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FIRST ISSUE	DESIGN	DRAWN	CHECKED	VERIFIED	DATE	REVISION DETAILS
	C.N.	C.N.	C.N.	C.N.	11/09/13	
01	C.N.	D.O.	C.N.		27/05/14	ISSUED FOR DEVELOPMENT APPLICATION
02	C.N.	D.O.	C.N.		27/05/14	ISSUED FOR DEVELOPMENT APPLICATION
03	C.N.	D.O.	C.N.		01/09/14	ISSUED FOR DEVELOPMENT APPLICATION
04	C.N.	D.O.	C.N.		07/10/14	ISSUED FOR DEVELOPMENT APPLICATION
05	C.N.	D.O.	C.N.		27/10/14	ADDITION OF COMBINED OSD & RAINWATER TANK

SCALE
0 1 2 3 4 5m
Scale 1:100 (A1 SHEET)
ISSUED FOR
D.A.

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This drawing has been drafted in accordance with AS 1100.101

PROJECT				7-19 ALBANY STREET, ST LEONARDS			
DRAWING TITLE				CONCEPT STORMWATER MANAGEMENT PLAN - GROUND LEVEL			
PROJECT NO	SUB-PROJECT NO	DRAWING NO	REVISION	SHEET SIZE			
13002	04	DA04	05	A1			